

Date

6/24/2024

Application No. _____

TOWN OF BARRINGTON

ZONING BOARD OF REVIEW

APPLICATION

for Special Use Permit, Use or Dimensional Variance

Please note an appeal is a separate application

Application under the Town of Barrington Zoning Ordinance for: (check all that apply)

Dimensional Variance

- ☐ Dimensional Modification by Zoning Officer
 - ☐ Under 5 percent.
 - ☐ 5 to 15 percent.
- ☐ Zoning Board Application

Special Use Permit

Use Variance

The undersigned hereby applies to the Building/Zoning Official and/or Zoning Board of Review for relief, as indicated above, from the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Applicant: Matthew Carvalho
(please print in black ink)

Address: 45 Orchard Ave.
Barrington, RI 02806

Owner: Matthew Carvalho
(please print in black ink)

Address: 45 Orchard Ave.
Barrington, RI 02806

Lessee: _____
(please print in black ink)

Address: _____

1. Location of Premises: 45 Orchard Ave.
(No.) (Street Name or Pole Number)
2. Assessor's Plat No.: 28 Lot No.: 059 Zone: R-14
3. Dimensions of Lot: 80' 100' 8,000 sq. ft.
(Frontage) (Depth) (Area)
4. How long owned: 7 years
5. State present use of premises: Single Family Home.
6. State proposed use of premises: Single Family Home.

7. Is there a building on the premises at present? Yes
8. What is the size of the existing building? (square feet of finished/living area): 1,400 sq. ft.
9. What is the size of the proposed building? (square feet of finished/living area): 2,390 sq. ft.
10. Please attach any prior zoning/planning decisions of which you are aware of regarding the property.
11. Number of families for which building is to be arranged: One

12. Describe extent of proposed alterations. (use additional page if necessary)

We plan to add an attached 2 stall garage
with a master bedroom above. The plans allow me
to have a proper living area off of the first floor.
~~room~~

13. Please state zoning relief required: The distance from the proposed
front garage to my property line is 22' 2". The
minimum depth required is 25'. I would need a
relief of 2' 10".

14. Circle which provisions of the Zoning Ordinance is relief sought:

(a)

| | |
|--------------------------|-----------------------------|
| Dimensional Variance | Section (s) 185-69, 185-71 |
| Dimensional Modification | Section 185-40 |
| Special Use Permit | Section(s) 185-73, 185-73.1 |
| Use Variance | Section (s) 185-69, 185-70 |

- (b) If dimensional relief is sought state number of feet to property line (where applicable)

*The required amount of feet for your zone can be found through the dimensions regulations table.
Please only fill out what is applicable to your application.*

| | | | | | | |
|-----------------|---------------|--------------|------------|----------|---------------|-----------|
| Front yard #1: | <u>22' 2"</u> | ft. required | <u>25'</u> | existing | <u>2' 10"</u> | requested |
| Front yard #2: | _____ | ft. required | _____ | existing | _____ | requested |
| Side yard #1: | _____ | ft. required | _____ | existing | _____ | requested |
| Side Yard #2: | _____ | ft. required | _____ | existing | _____ | requested |
| Rear yard: | _____ | ft. required | _____ | existing | _____ | requested |
| Height: | _____ | ft. required | _____ | existing | _____ | requested |
| Wetlands: | _____ | ft. required | _____ | existing | _____ | requested |
| Lot Coverage: | _____ | sq. ft. max. | _____ | existing | _____ | requested |
| Lot Coverage: | _____ | % max. | _____ | existing | _____ | requested |
| Parking Spaces: | _____ | required | _____ | existing | _____ | requested |

* Note: Lot Coverage calculations are to include all structures on the lot including buildings, wood steps, wood decks and sheds. Ground level patios and landscape/masonry steps are not counted towards lot coverage under the Barrington Zoning Ordinance.

The undersigned declares that the information given herein is a true statement to the best of his or her knowledge and belief.

Submitted by: (Please sign and print)

Matthew Carvalho

Applicant (Print)

[Signature]
Applicant's Signature

Matthew Carvalho

Owner (Print)

[Signature]
Owner's Signature

(if different from Applicant, signature must be provided)

Applicant Tel. # 401-662-5316

Owner: Tel. # SAME

Contact Person: Matt Carvalho

Contact Tel. # _____

Email: MCARVALHO333@GMAIL.COM

Email: _____

Please note:

By signing this application, the Applicant(s) and Land Owner(s) give permission to the Town of Barrington staff and members of the Zoning Board to enter the property individually or as a group for purposes of a site inspection.

EAST BAY COMMUNITY DEVELO
150 FRANKLIN STREET
BRISTOL, RI 02809

GIMENEZ GREG
GIMENEZ VIRGINIE C.
33 COLONIAL AVENUE
BARRINGTON, RI 02806

SOWADA ROBERT
32 ORCHARD AVENUE
BARRINGTON, RI 02806

BROWNELL CALEB J.
BROWNELL SARA E.
34 ORCHARD AVENUE
BARRINGTON, RI 02806

GUSTAFSON MAUREEN B.
42 ORCHARD AVENUE
BARRINGTON, RI 02806

THE FIELD INTER VIVOS TRU
LINDA S. FIELD (TRUSTEE)
19 COLONIAL AVENUE
BARRINGTON, RI 02806

CAPOVERDE DEBORAH A
65 ORCHARD AVENUE
BARRINGTON, RI 02806

IGLE RAYMOND P
21 COLONIAL AVE
BARRINGTON, RI 02806

DONATO MATTHEW T.
DONATO KATHERINE R.
7 COLONIAL AVENUE
BARRINGTON, RI 02806

LAXTON PETER
LAXTON YMELDA
96 ALFRED DROWN ROAD
BARRINGTON, RI 02806

DU TAO
ZHANG JIANGFENG
60 ORCHARD AVENUE
BARRINGTON, RI 02806

MCELROY BRIAN J.
MCELROY CHERYL ANNE
37 COLONIAL AVENUE
BARRINGTON, RI 02806

DUCHARME MARIANNE S.
DUCHARME PETER
17 COLONIAL AVENUE
BARRINGTON, RI 02806

MORRIS DAVID J.
MORRIS DARLENE M.
35 ORCHARD AVENUE
BARRINGTON, RI 02806

EAST BAY COMMUNITY DEVELO
150 FRANKLIN STREET
BRISTOL, RI 02809

NICHOLS FAMILY (TRUST)
68 ORCHARD AVENUE
BARRINGTON, RI 02806

FERRARA JOHN A.
30 ORCHARD AVENUE
BARRINGTON, RI 02806

OLIVER LESLIE M.
29 ORCHARD AVENUE
BARRINGTON, RI 02806

FLODERUS LARS
FLODERUS TERESA
61 ORCHARD AVENUE
BARRINGTON, RI 02806

SELINGER YEHUDA
SELINGER MARCIA R.
48 ORCHARD AVENUE
BARRINGTON, RI 02806

FRANCIS DEBORAH
FRANCIS CHRISTOPHER
57 ORCHARD AVENUE
BARRINGTON, RI 02806

SNOW JASON E.
SNOW JOCELYNNE
41 ORCHARD AVENUE
BARRINGTON, RI 02806



Find Property

200 Feet

Subject Features (1)

28-059

Abutting Parcels (25)

28-286

28-287

28-289

28-285

28-064

28-062

28-288

28-060

28-055

28-054

28-052

28-022

28-024

28-025

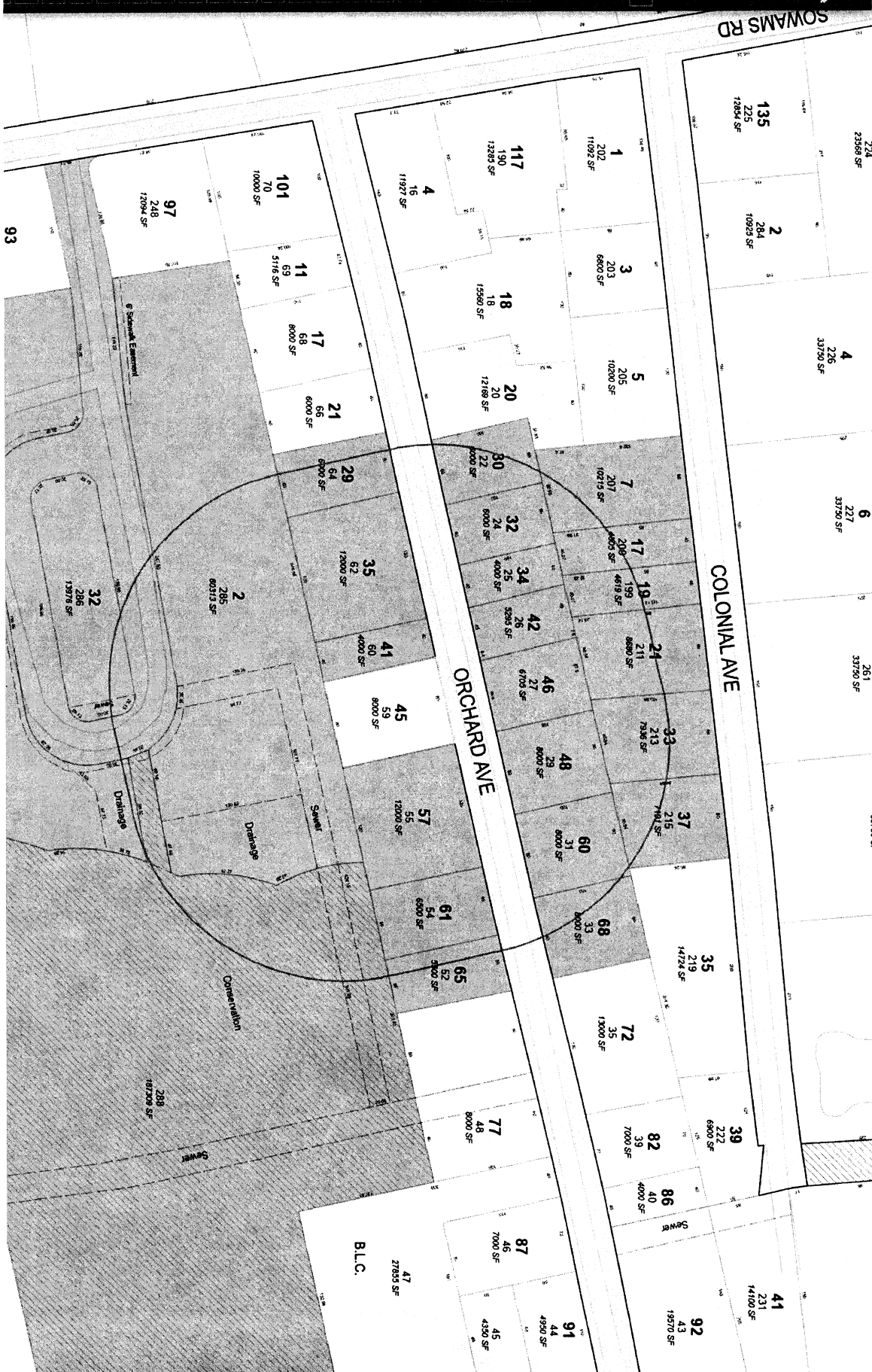
28-026

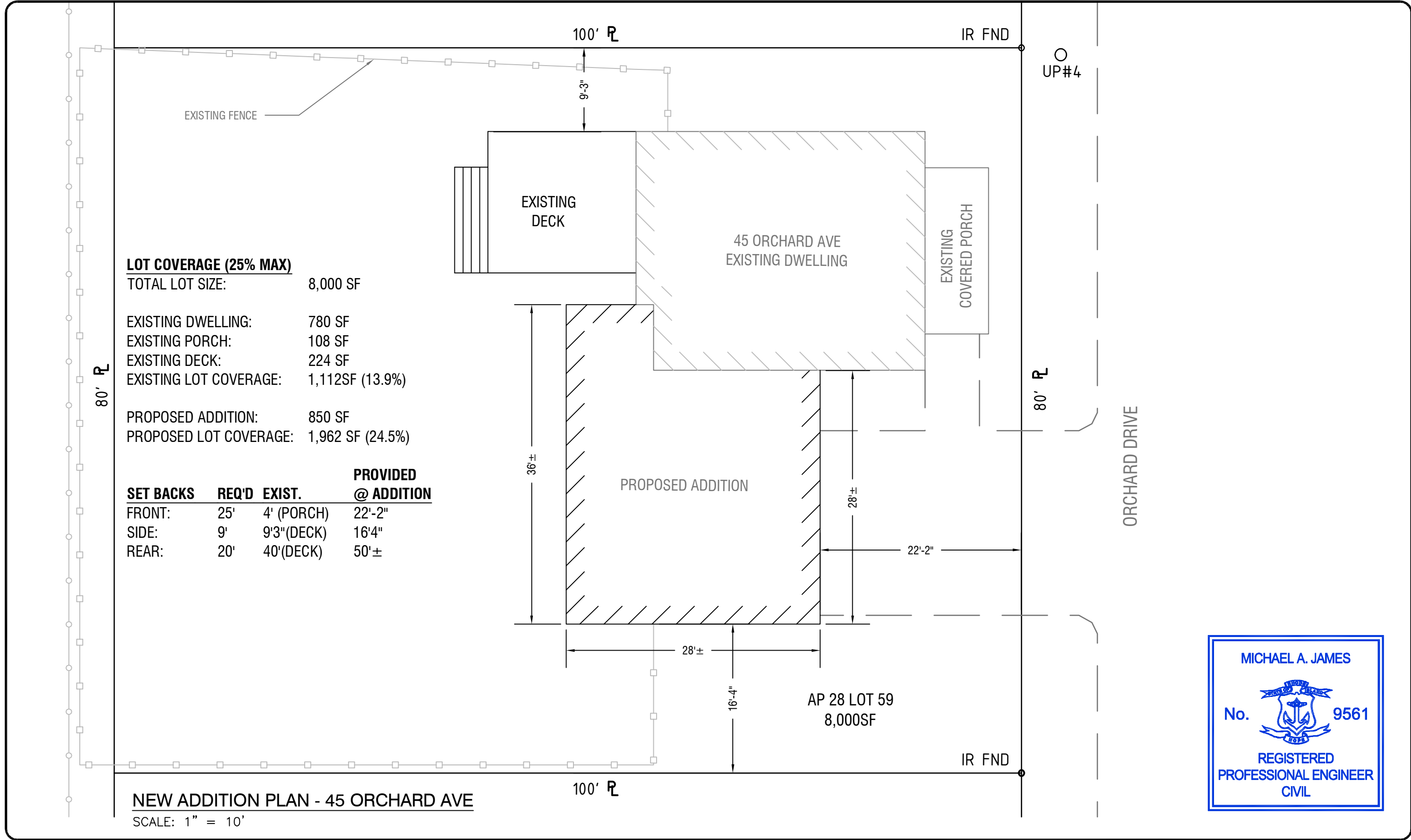
28-027

28-029

28-031

28-033





MICHAEL JAMES, PE
CIVIL/STRUCTURAL DESIGN & CONSULTING
POST OFFICE BOX 1018
PORTSMOUTH RI, 02871
401-499-2568

DESIGNED BY:
M. JAMES
DRAWN BY:
M. JAMES

DATE:
06/2024
SCALE:
AS NOTED

SATISFACTORY TO:

CLIENT/OWNER DATE

PROPOSED ADDITION FOR CARVALHO RESIDENCE
PLAT 28 LOT 59
45 ORCHARD AVE
BARRINGTON RI
SITE PLAN

SHEET ID
C-1
SHEET 1 OF 1



| FIRE SAFETY LEGEND | | TYPICAL ABBREVIATIONS | LOCATION MAP | SHEET NO. | SHEET NAME |
|---|---|-----------------------------|--------------|-----------|----------------------------------|
| <div>CO</div> <div>S/C</div> <div>H</div> <div>S/D</div> | CARBON MONOXIDE DETECTOR COMBINATION SMOKE/CARBON MONOXIDE DETECTOR HEAT DETECTOR SMOKE DETECTOR | AL APPROX Board | | A000 | COVER SHEET |
| | | BD Building | | A100 | PROPOSED FOUNDATION PLAN |
| | | CLG Ceiling | | A101 | PROPOSED FIRST FLOOR PLAN |
| | | CLR Clear | | A102 | PROPOSED SECOND FLOOR PLAN |
| COL Column | A103 | PROPOSED DETAIL FLOOR PLANS | | | |
| <div>DIMENSION(S) LOCATIONS:</div> <div>1. When measuring the overall wall length, the dimensions shall be referenced from the EXTERIOR of the primary structural stud or beam, to the EXTERIOR of the secondary stud or beam.</div> <div>2. When measuring between interior walls or from exterior to interior walls, the dimensions shall be referenced from the CENTER of the primary stud core, to the CENTER of the secondary stud core.</div> <div>3. Windows and doors shall have a dimension referencing one side of the ROUGH OPENING to the INTERIOR of the referenced wall stud core.</div> <div>4. FINISHED dimensions shall be annotated with arrows on both ends, and shall reference the finish face of the element.</div> <div>5. It is the Contractor's responsibility to understand the measurement locations and shall report any discrepancies or uncertainties to the Owner/Design Professional prior to beginning and/or continuing construction.</div> | | CONC Construction | | A200 | PROPOSED FRONT & SIDE ELEVATIONS |
| | | CONT Continuous | | A201 | PROPOSED REAR ELEVATION |
| | | CPT Carpet | | A300 | PROPOSED BUILDING SECTIONS |
| | | CT Ceramic Tile | | A400 | CONSTRUCTION DETAILS |
| | | CTR Center | | A401 | CONSTRUCTION DETAILS |
| | | DA Diameter | | A404 | CONSTRUCTION SCHEDULES |
| | | DSP Dispenser | | | |
| | | DN Down | | | |
| | | DWG Drawing | | | |
| | | ELC Electrical | | | |
| EQ Equal | | | | | |
| ETH Existing | | | | | |
| EXST Existing | | | | | |
| FFL Finish Floor | | | | | |
| GA Glass | | | | | |
| GLB Gypsum Wall Board | | | | | |
| HCP Handicapped | | | | | |
| HDP High Density Polymer | | | | | |
| HR Riser | | | | | |
| HT Height | | | | | |
| INSUL Insulation/Insulated | | | | | |
| LT Light | | | | | |
| MAX Maximum | | | | | |
| MEDN Mechanical | | | | | |
| MIN Minimum | | | | | |
| MISC Miscellaneous | | | | | |
| NTS Not In Contact | | | | | |
| NTS Not To Scale | | | | | |
| OPP Opposite | | | | | |
| P.LAM Plastic Laminate | | | | | |
| PTD Painted | | | | | |
| REQ Required | | | | | |
| RO Rough Opening | | | | | |
| RO Similar | | | | | |
| STL Steel | | | | | |
| STOR Storage | | | | | |
| SUSP Suspended | | | | | |
| T&G Tongue & Groove | | | | | |
| THK Thick | | | | | |
| TYP Typical | | | | | |
| VCB Vinyl Core Base | | | | | |
| VPS Veneer Plaster Base | | | | | |
| WC Water closet | | | | | |
| WD Wood | | | | | |
| W/ With | | | | | |
| W/O Without | | | | | |
| WT Weight | | | | | |

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE BUILDING CODES, THE REQUIREMENTS OF THE LOCAL COMMUNITY AND ORDINANCE, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS, AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK. THESE DRAWINGS AND ANY MATERIALS BORNE FROM THIS DOCUMENTATION SOLELY CONVEY DESIGN-INTENT: ALL CONSTRUCTION DETAILS SHALL BE COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR AND/OR THE OWNER.
- PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF RHODE ISLAND GENERAL LAWS, UNDER TITLE 5: BUSINESSES AND PROFESSIONS, CHAPTER 1: ARCHITECTS, SECTION 5-1-14 - PRACTICES PERMITTED, SUB-SECTIONS 3 AND 4, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC, OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).
- ACHV DESIGN LLC AND ITS ASSOCIATES ASSUME NO RESPONSIBILITY FOR CHANGES MADE AND/OR IMPLEMENTED TO THE DESIGN-INTENT OF THIS DOCUMENTATION AFTER THE ISSUE DATE OF THESE DRAWINGS.
- PRIOR TO SUBMITTING BID, CONTRACTOR MUST THOROUGHLY EXAMINE THE DRAWINGS, AND INSPECT THE BUILDING FULLY TO UNDERSTAND THE FACILITY, DIFFICULTIES, AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF THE CONTRACTOR TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY OWNER/BUILDING DESIGNER WITH ANY DISCREPANCIES, QUESTIONS AND/OR CONCERNS. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
- ALL REQUIRED PERMITS SHALL BE THE RESPONSIBILITY OF THE THE CONTRACTOR.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK SHALL BE COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR, SUBJECT TO APPROVAL BY OWNER.
- DRAWN INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
- ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PARK OF THE WORK.
- DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS, ETC.
- CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL PROVIDE ALL NECESSARY COMPONENTS AND ACCESSORIES FOR A COMPLETE INSTALLATION. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE BUILDING DESIGNER AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.
- CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.
- IF HAZARDOUS WASTES ENCOUNTERED, STOP WORK AND CONTACT THE OWNER AND ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHCD STANDARDS.
- ALL CONSTRUCTION SHALL MEET ENERGY-STAR COMPLIANCE, WHERE APPLICABLE AND/OR REQUIRED.

GENERAL STRUCTURAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE BUILDING CODES, REQUIREMENTS OF THE LOCAL ORDINANCE, AND ALL OTHER LOCAL, STATE, AND FEDERAL STANDARDS AND REGULATIONS. DO NOT SCALE THESE DRAWINGS. REFER TO BUILDING DESIGN DRAWINGS FOR DIMENSIONS, LIMITS, AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL FRAMING MEMBERS AND COMPONENTS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL ELEVATIONS.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE BUILDING DESIGN, MECHANICAL, AND ELECTRICAL DRAWINGS. THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APPURTENANCES.
- DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH BUILDING DESIGN DRAWINGS PRIOR TO DETAILING, FABRICATION, AND ERECTION OF ALL STRUCTURAL MEMBERS EXISTING LAYOUT, ITEMS, AND CONDITIONS MAY DIFFER FROM AS SHOWN. ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/DESIGN PROFESSIONAL PRIOR TO PROCEEDING WITH THE AFFECTED PART OF WORK.
- IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
- FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS, AND EXTENT OF ALL MEMBERS, CONNECTIONS, AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE, ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS FOR APPROVAL.

FOUNDATION NOTES:

- FOOTINGS SHALL BE CARRIED TO ELEVATIONS SHOWN ON THE DRAWINGS AND DEEPER IF NECESSARY TO OBTAIN SAFE BEARING PRESSURE OF AT LEAST 2000 POUNDS PER SQUARE FOOT. CONTRACTOR SHALL VERIFY THE DESIGN BEARING CAPACITY THROUGH GEOTECHNICAL SERVICES PRIOR TO PLACING CONCRETE AND AFTER PLACEMENT HAS BEEN APPROVED.
- NO FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPACTED TO 95% DRY DENSITY.
- PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

PLYWOOD NOTES:

- ALL PLYWOOD SHEATHING SHALL BE APA RATED STRUCTURAL I PLYWOOD USED FOR ROOF SHEATHING SHALL BE EXTERIOR GRADE.
- ALL PLYWOOD SHALL HAVE A MINIMUM THICKNESS OF 3/4"
- ALL EDGES SHALL BE TONGUE AND GROOVE JOINTED OR CONTINUOUSLY SUPPORTED WITH WOOD BLOCKING.

CONCRETE NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE). CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
- CONCRETE STRENGTH SHALL BE AS FOLLOWS:

A. ALL CONCRETE - MIN. COMPRESSIVE STRENGTH = 4000 PSI

- ALL BARE REINFORCEMENT SHALL CONFORM TO ASTM A615 - GRADE 60
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6X6 - W4XW4 UNLESS OTHERWISE NOTED.
- MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:

A. SLABS: TOP = 2"

B. WALLS: ALL SIDES = 2" (MIN.)
- ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOISTS AND FINS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN, TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS AND OWNER.
- CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
- BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDCRETE" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD, OR APPROVED EQUAL.
- DOWELING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
- CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

WOOD NOTES:

- ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATIONS FOR DESIGN, FABRICATION, AND ERECTION OF WOOD STRUCTURES.
- ALL WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESSURE-TREATED.
- ALL WOOD WITHIN 18" OF GRADE TO BE PRESSURE-TREATED.
- ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL WITH MINIMUM PROPERTIES OF:

A. E = 1,800,000 PSI

B. Fb = 1500 PSI

C. Fv = 190 PSI

DIMENSION NOTE:

- ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE LAYOUT DRAWING WITH ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY NEW WORK.

PRODUCTS:

- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES.
- ALL FINISHES TO BE SELECTED BY OWNER. REFER TO OWNER FOR ALL FLOORING, COLORS, TEXTURES, FIXTURES, APPLIANCES, CABINETS, LIGHTING, ETC...
- ALL INTERIOR AND EXTERIOR TRIM DETAILS TO BE SELECTED BY OWNER. REFER TO OWNER FOR ALL WALL BASES, DOOR STYLES, WINDOW STYLES, CASINGS AT WINDOWS AND DOORS, ETC...
- ALL FIXTURES TO BE SELECTED BY OWNER. REFER TO OWNER FOR ALL PLUMBING FIXTURES, ELECTRICAL FIXTURES, APPLIANCE, CABINETS, LIGHTING, ETC...
- ALL SPECIFIED ITEMS, WHETHER EXPRESS OR IMPLIED, SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS, TECHNICAL BULLETINS, AND RECOMMENDATIONS OF THE SPECIFIED MANUFACTURER(S).



Carvalho Residence

45 Orchard Avenue, Barrington, RI 02806

Matthew and Ashlie Carvalho

28 May, 2024

ACHV DESIGN - RESIDENTIAL

A000



- THESE DRAWINGS CONVEY DESIGN-INTENT- ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN-BUILD BASIS BY THE CONTRACTOR.
- PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF ARIZONA AND FEDERAL LAWS, UNDER TITLE 5, BUSINESS AND PROFESSIONS, CHAPTER 12, ARTICLE 1, SECTION 5-1-14, PRACTICES PERMITTED, SUB-SECTIONS 3 AND 4, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC. OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL IT BE REQUIRED TO BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).
- ALL DOOR STYLES, MATERIALS, FINISHES, AND TYPES SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.
 - ALL WET OR HIGH HUMIDITY ROOMS TO HAVE MOISTURE-RESISTANT GWB.
 - NON-LOAD-BEARING INTERIOR WALL STUDS TO BE 2x4 K.D. WOOD AT 16" O.C. TYP. UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALL DIMENSIONS ARE PULLED FROM THE OUTSIDE FACE OF STUDS.
 - ALL INTERIOR WALL DIMENSIONS ARE PULLED FROM THE CENTER OF STUDS.
 - ALL DIMENSIONS LABELED "CLR." INDICATE DIMENSIONS PULLED FROM FINISHED FACES OF WALLS AND/OR FINISHED SURFACES.
 - ALL SHOWER AND PARTITION DIMENSIONS AND REQUIREMENTS SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.
 - CONTRACTOR SHALL VERIFY ALL INTERIOR FINISH WORK, MILLWORK, FLOORING, MOULDING, PAINTS, ETC.. DIMENSIONS AND REQUIREMENTS WITH OWNER AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO ORDERING.
 - ALL RAILINGS SHALL BE 36" ABOVE FINISHED FLOOR, TYP.
 - ALL RAILING STYLES AND FINISHES SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.

GENERAL WINDOW & DOOR NOTES:

- WINDOW AND DOOR SIZES HAVE BEEN SPECIFIED BASED ON THE MANUFACTURER'S STANDARD SIZES.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL UNIT AND ROOM FINISHING IS IN ACCORDANCE WITH THE MANUFACTURER AND SELECT THE CLOSEST STANDARD SIZE WHERE APPLICABLE.
- WINDOW NUMBERS FOLLOWED BY AN 'A' SYMBOLIZES A NEW WINDOW THAT WILL BE PLACED IN AN EXISTING OPENING; THESE WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
- WINDOWS WITH BOX CHECKED ("X") UNDER (E) WILL BE REQUIRED TO BE AN EGRESS WINDOW.
- WINDOWS WITH BOX CHECK ("X") UNDER (T) WILL BE REQUIRED TO BE A TEMPERED WINDOW.
- ALL OPENINGS AND PENETRATIONS THROUGH THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTION R302.5.1 THROUGH R302.5.3 OF THE IRC, 2015 EDITION.

WINDOW EGRESS NOTES:

- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL BEDROOM WINDOWS TO ENSURE ANY AND ALL EGRESS COMPLIANCE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.
- A MINIMUM OF (1) EGRESS WINDOW SHALL BE PROVIDED IN EACH BEDROOM INCLUDING, BUT NOT LIMITED TO, ANY BEDROOMS LOCATED EITHER ABOVE OR BELOW FINISHED GRADE.
- THE MINIMUM EGRESS WINDOW OPENING AREA SHALL MEET OR EXCEED THE DIMENSIONAL REQUIREMENTS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES.
- ALL WINDOWS SHALL BE PROVIDED WITH THE MANUFACTURER OR MANUFACTURER'S REPRESENTATIVE TO ENSURE ANY AND ALL EGRESS COMPLIANCE.
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- OPERABLE WINDOWS INSTALLED WITH SILL HEIGHTS LESS THAN 24" ABOVE THE FINISHED FLOOR SHALL BE INSTALLED WITH CODE COMPLIANT FALL PROTECTION.
- ALL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- ALL INTERIOR AND EXTERIOR WINDOW CASING SHALL BE VERIFIED BY OWNER AND COORDINATED BY CONTRACTOR PRIOR TO ORDERING.

DOOR INSTALLATION NOTES:

- ALL INTERIOR AND EXTERIOR DOORS ASSUME 6'-8" HEAD HEIGHTS, UNLESS NOTED OTHERWISE.
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- ALL EXTERIOR DOORS WITH INFILL GLAZING SHALL HAVE TEMPERED AND INSULATED LOW-E GLASS FILLED.
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45 Orchard Avenue, Barrington, RI 02806

Matthew and Ashlie Carvalho

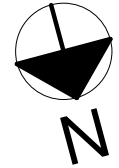
28 May, 2024

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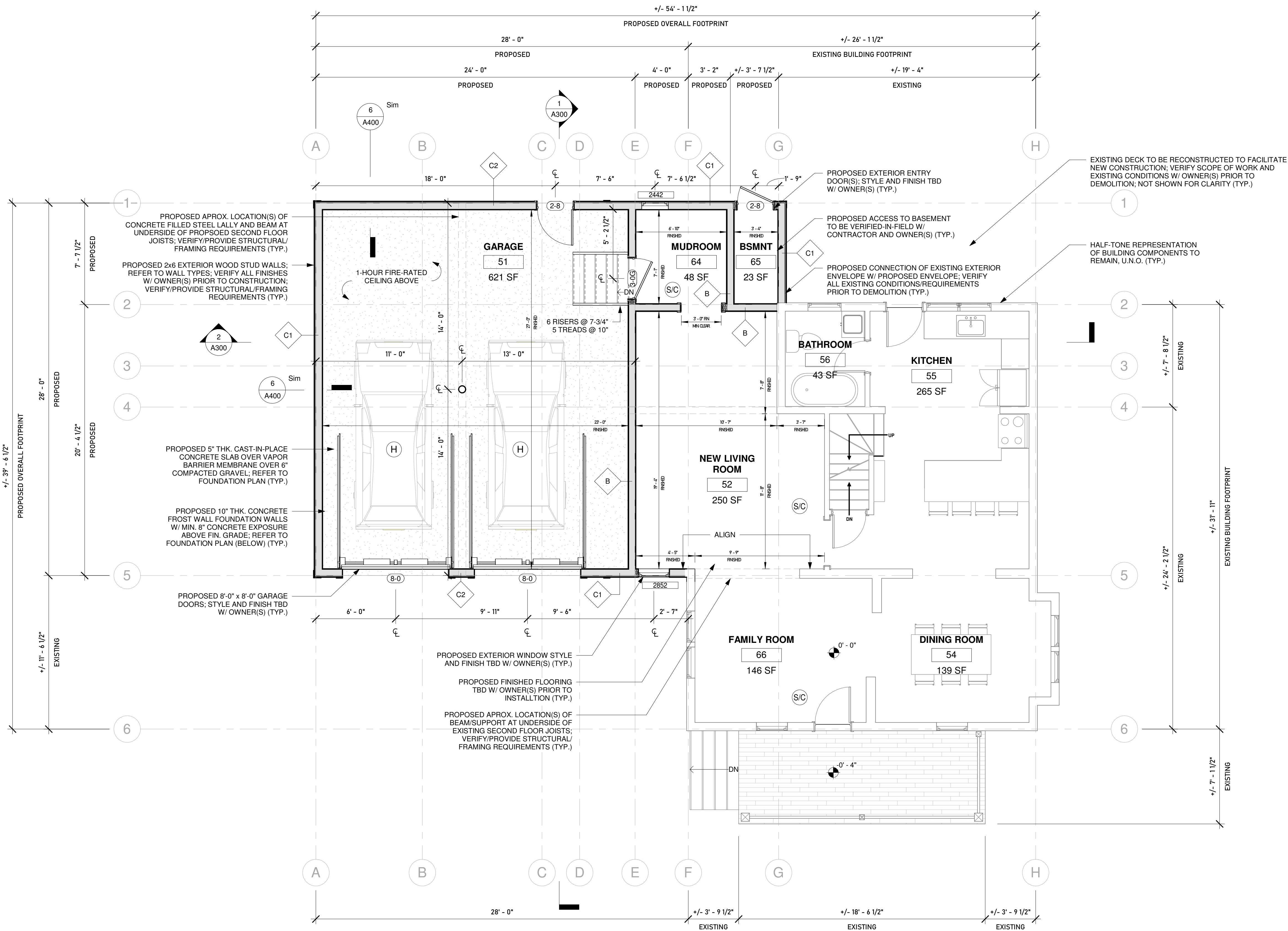
1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



Carvalho Residence

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Matthew and Ashlie Carvalho



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- ALL EXTERIOR WALL DIMENSIONS ARE PULLED FROM THE OUTSIDE FACE OF STUDS.
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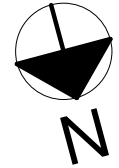
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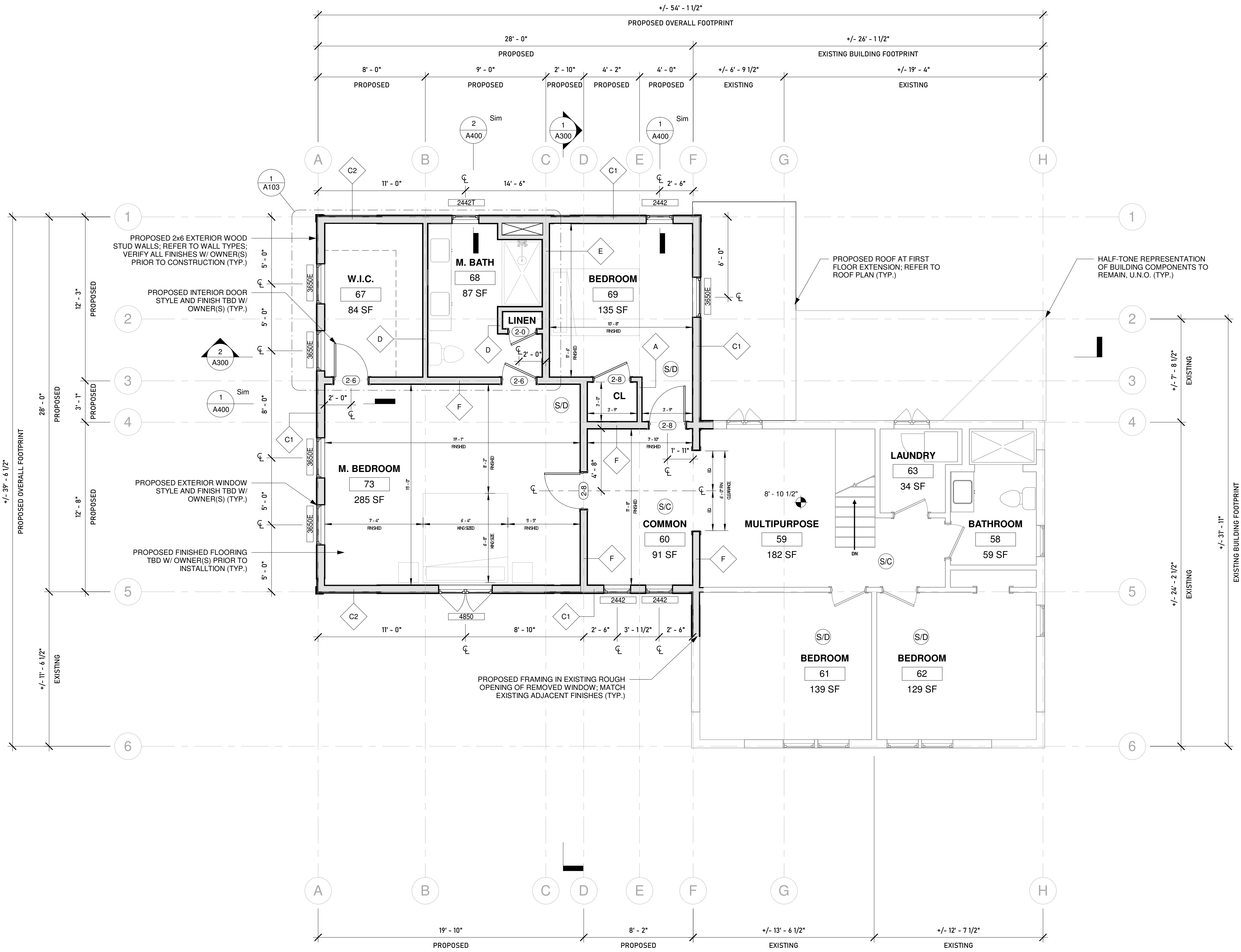
1 PROPOSED SECOND FLOOR
1/4" = 1'-0"



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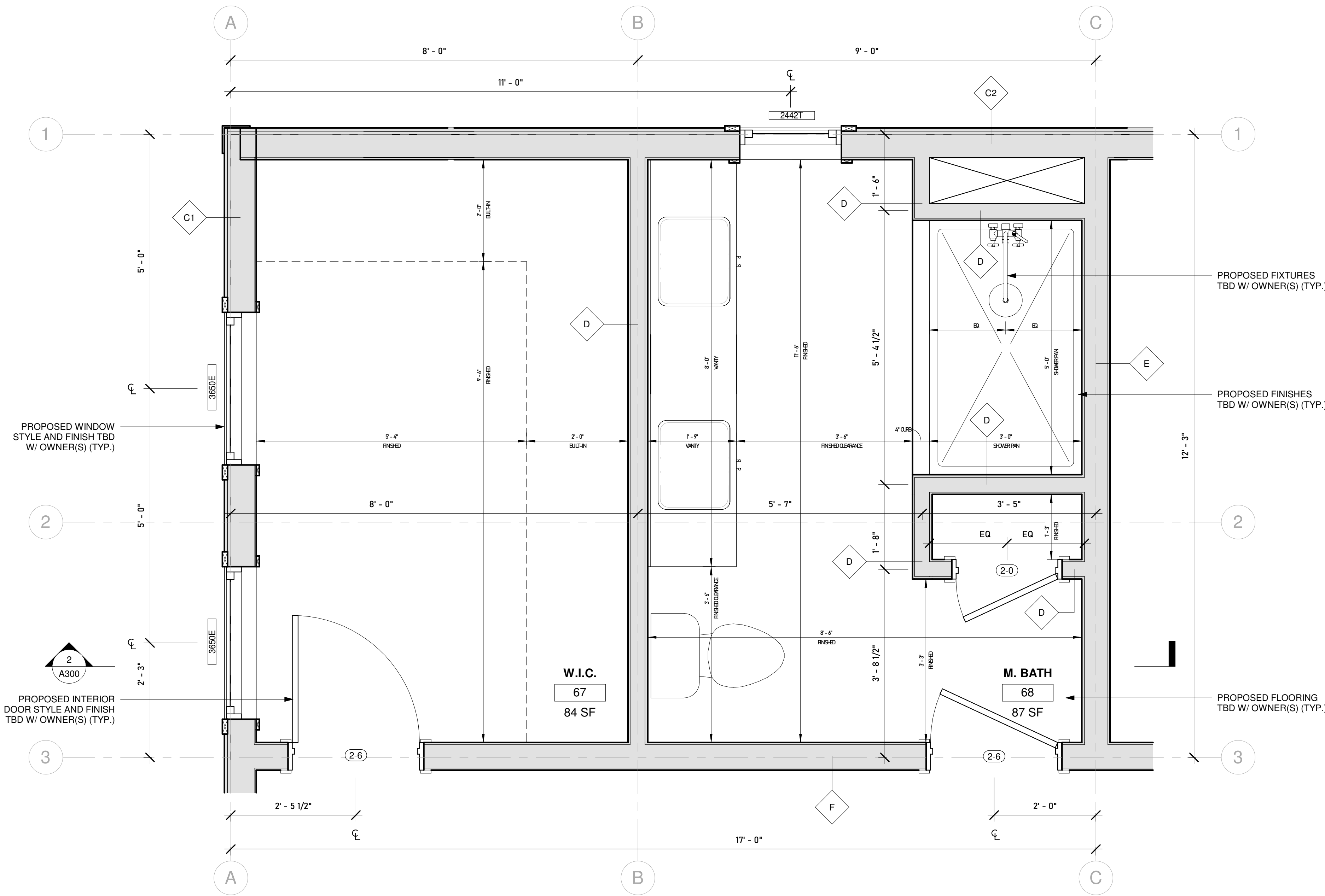
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28 May, 2024

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A102



1 PROPOSED DETAIL FLOOR PLAN
3/4" = 1'-0"

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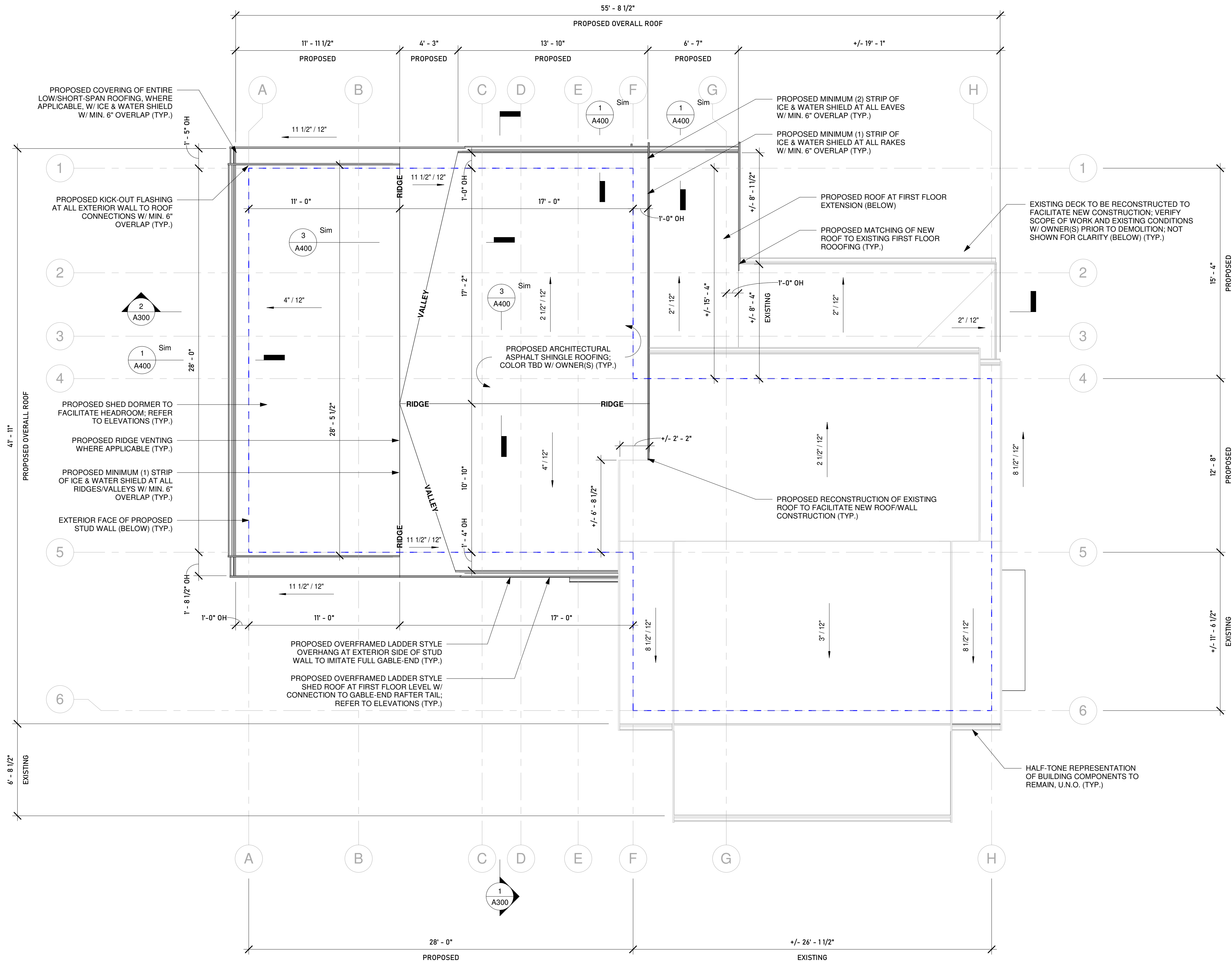
28 May, 2024

ACHV DESIGN - RESIDENTIAL

A103

GENERAL ROOF PLAN NOTES:

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- PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF CONNECTICUT'S GENERAL STATUTES UNDER TITLE 20: PROFESSIONAL AND OCCUPATIONAL LICENSING, CERTIFICATION, TITLE PROTECTION, AND REGISTRATION EXAMINING BOARDS, CHAPTER 390: ARCHITECTS, SECTION 20-298 - EXEMPTED ACTIVITIES, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC, OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).
- PROVIDE CRICKETS AS REQUIRED AT ALL ROOFTOP PENETRATIONS.
- ALL ROOFTOP PENETRATIONS, INCLUDING PLUMBING VENTS, AND MECHANICAL CURBS, SHALL HAVE FLASHING INSTALLED THAT IS COMPATIBLE WITH ROOF SLOPE AND ROOFING MATERIALS.
- ALL ROOF OVERHANG FINISHES AT SOFFITS/CANTILEVERS SHALL BE VERIFIED WITH OWNER.
- ALL ROOF RIDGES SHALL HAVE CONT. RIDGE VENTS, HOLD ROOF SHEATHING BACK AS REQUIRED.
- ALL LIGHT TUBE SYSTEMS AND FIXTURES TO BE SELECTED BY OWNER AND TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



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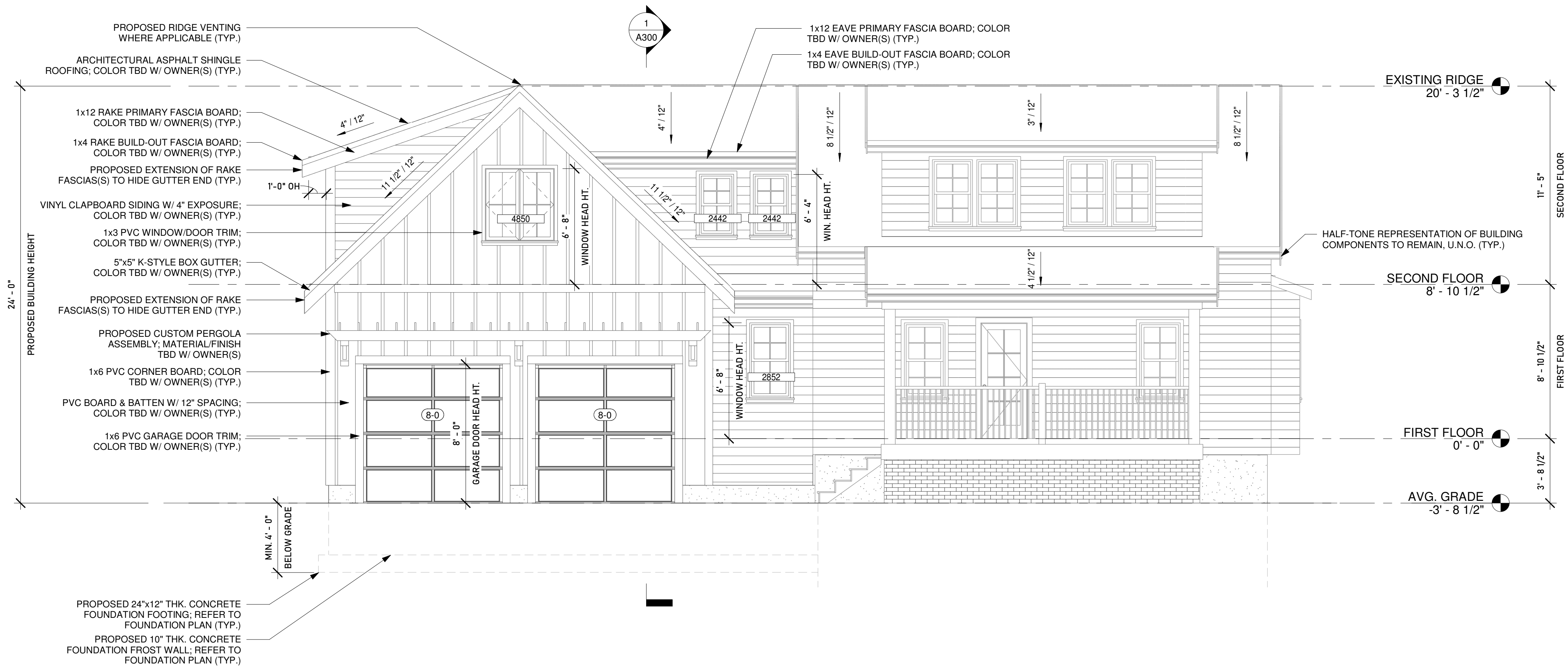
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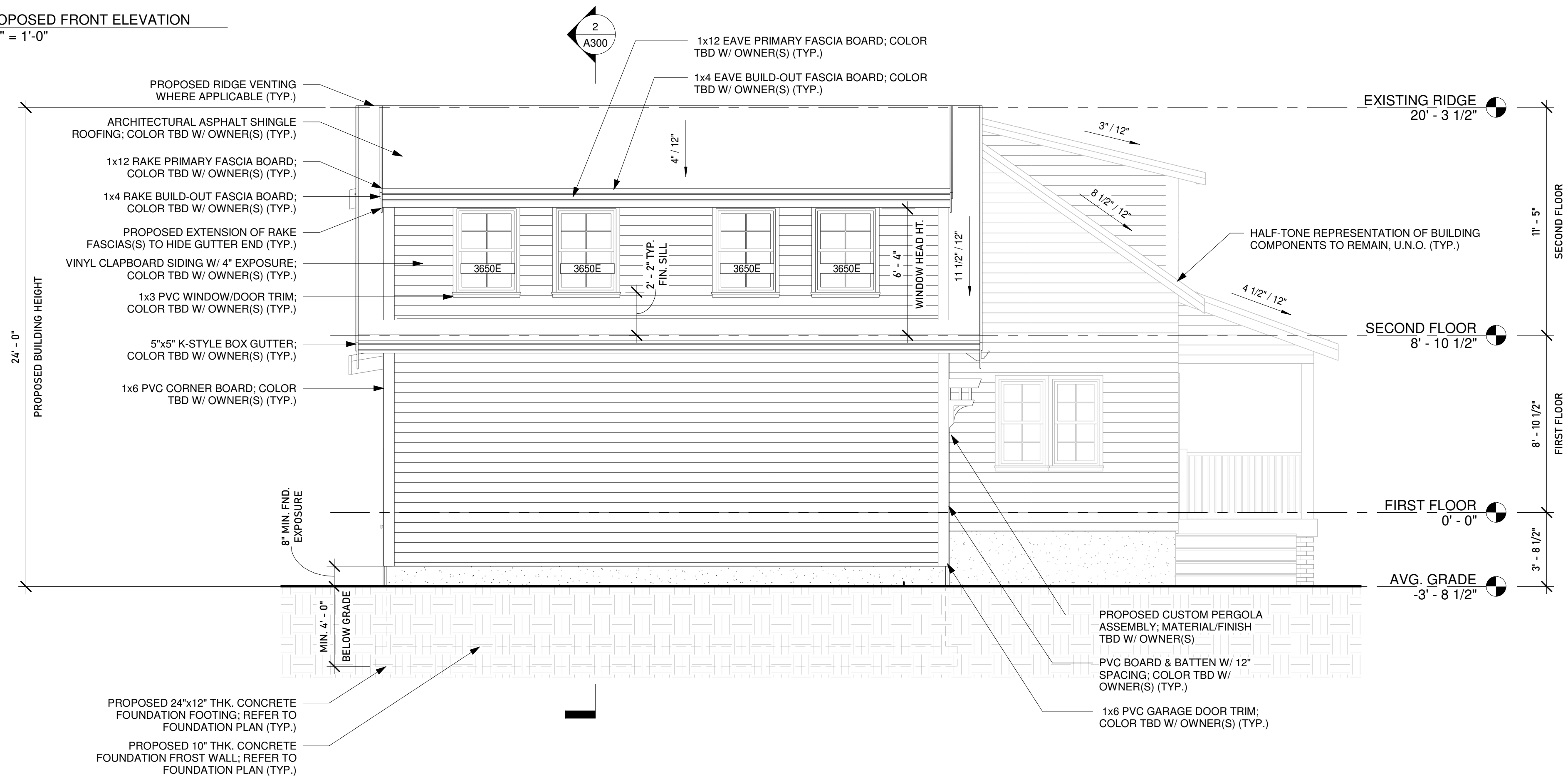
A109

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- ALUMINUM FLASHING, COLOR TO MATCH WINDOW FRAMES OR ADJACENT WALL COLOR(S).
- SEALANTS TO MATCH ADJACENT WALL/FINISH COLOR.
- PROVIDE 1" x 6" FLAT PVC TRIM ON THE EXTERIOR OF ALL WINDOWS, UNO, PAINTED TO MATCH ADJACENT FINISH COLOR(S).
- PROVIDE SEALANT AT ALL PVC TRIM JOINTS AND ALL SIDING JOINTS.
- PROVIDE 1x PVC TRIM PLATES W/ MIN. 1" REVEALED W/ 1" PT PLYWOOD NALER AND METAL CAP FLASHING, PAINTED TO MATCH ADJACENT FINISH COLORS, AT ALL SIDING PENETRATIONS (I.E. OUTLETS, HOSE BIBS, LIGHTS, ETC.).
- ALL PVC TRIM JOINTS TO BE SCARFED, GLUED AND SCREWED.



1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
1/4" = 1'-0"



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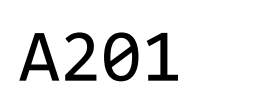
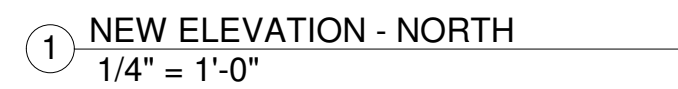
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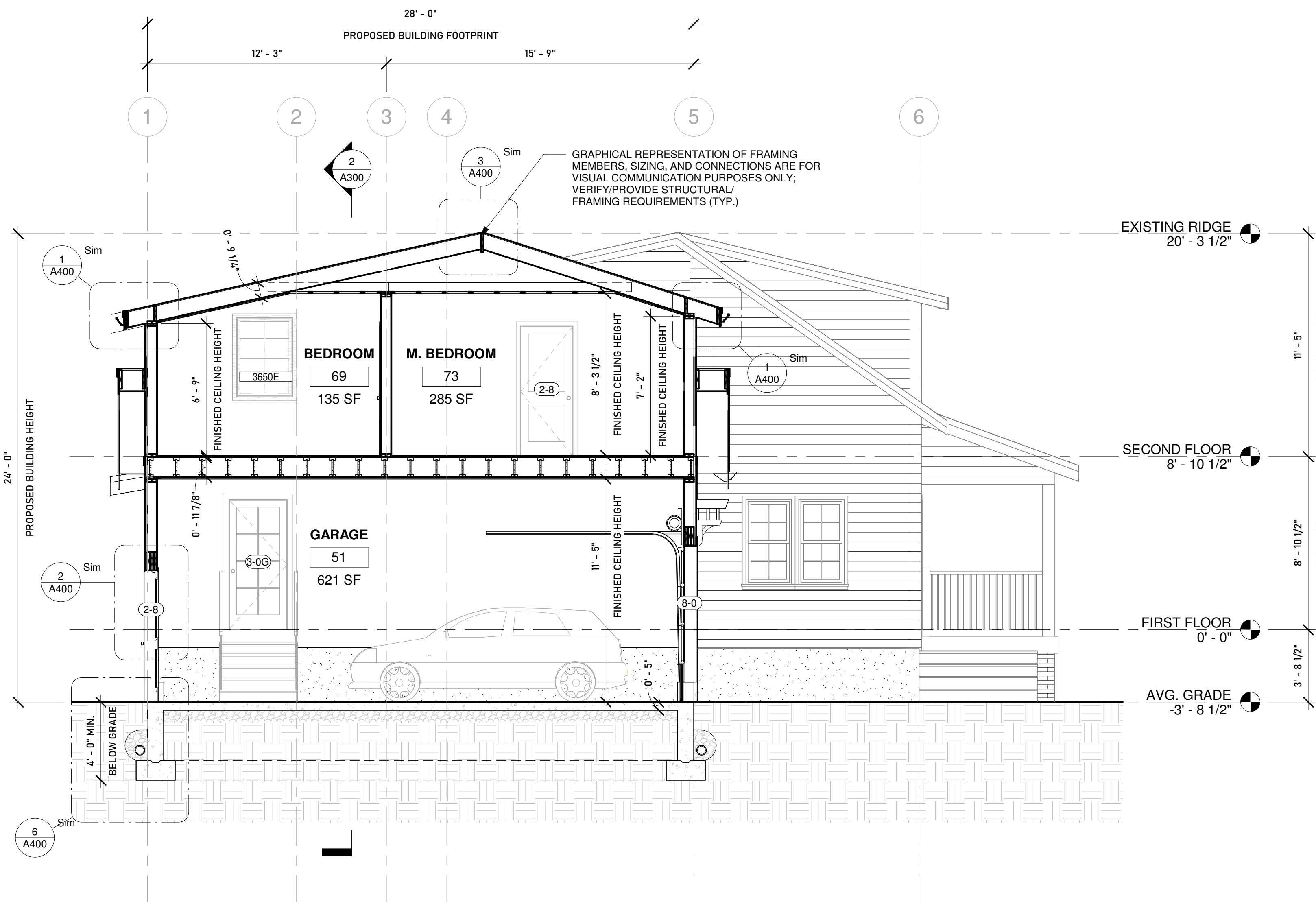
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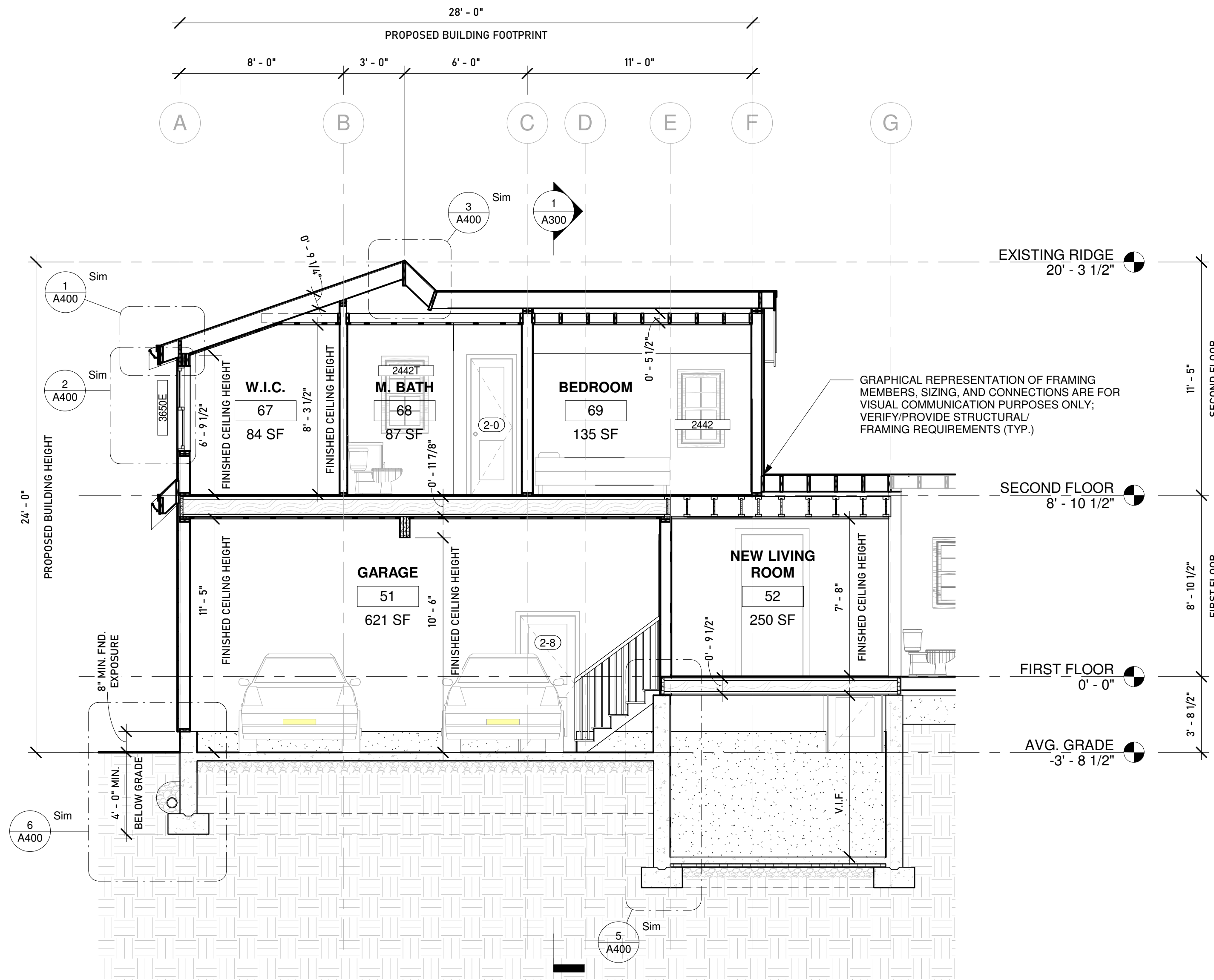
- THESE DRAWINGS CONVEY DESIGN-INTENT: ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR.
- PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF CONNECTICUT'S GENERAL STATUTE TITLE 20-
20. PROFESSIONAL AND OCCUPATIONAL LICENSING, CERTIFICATION, TITLE PROTECTION, AND REGISTRATION EXAMINING BOARDS, CHAPTER 390: ARCHITECTS, SECTION 20-298 - EXEMPTED ACTIVITIES, THE CLIENT/OWNER SHALL SEAL OF ANY ARCHITECT ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC, OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMP OR SEAL OF ANY ARCHITECT OR ARCHITECT OR WILL SELL DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE.
- ALUMINUM FLASHING: COLOR TO MATCH WINDOW FRAMES OR ADJACENT WALL COLOR(S);
- SEALANTS TO MATCH ADJACENT WALL/FINISH COLOR.
- PROVIDE 1" x 6" FLAT PVC TRIM ON THE EXTERIOR OF ALL WINDOWS, UNLESS PAINTED TO MATCH ADJACENT WALL COLOR(S);
- PROVIDE SEALANT AT ALL PVC TRIM JOINTS AND ALL SIDING JOINTS.
- PROVIDE 1x PVC TRIM PLATES W/ MIN. 1" REVEALED W/ 1" PT PLWYWOOD NAILER AND METAL CAP FLASHING, PAINTED TO MATCH ADJACENT FINISH COLOR(S) AT ALL SIDING PENETRATIONS (IE. OUTLETS, HOSE BIBS, LIGHTS, ETC.).
- ALL PVC TRIM JOINTS ARE TO BE SCARFED, GLUED AND SCREWED.



- GENERAL EXTERIOR ELEVATION NOTES:**
- THESE DRAWINGS CONVEY DESIGN-INTENT: ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR.
 - PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF CONNECTICUT'S GENERAL STATUTES UNDER TITLE 20: PROFESSIONAL AND OCCUPATIONAL LICENSING, CERTIFICATION, TITLE PROTECTION, AND REGISTRATION EXAMINING BOARDS, CHAPTER 390: ARCHITECTS, SECTION 20-298 - EXEMPTED ACTIVITIES, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC, OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).
 - ALUMINUM FLASHING, COLOR TO MATCH WINDOW FRAMES OR ADJACENT WALL COLOR(S).
 - SEALANTS TO MATCH ADJACENT WALL/FINISH COLOR.
 - PROVIDE 1" x 6" FLAT PVC TRIM ON THE EXTERIOR OF ALL WINDOWS, UNO, PAINTED TO MATCH ADJACENT FINISH COLOR(S).
 - PROVIDE SEALANT AT ALL PVC TRIM JOINTS AND ALL SIDING JOINTS.
 - PROVIDE 1x PVC TRIM PLATES W/ MIN. 1" REVEALED W/ 1" PT PLYWOOD NAILER AND METAL CAP FLASHING, PAINTED TO MATCH ADJACENT FINISH COLORS, AT ALL SIDING PENETRATIONS (I.E. OUTLETS, HOSE BIBS, LIGHTS, ETC.).
 - ALL PVC TRIM JOINTS TO BE SCARFED, GLUED AND SCREWED.



① TRANSVERSE SECTION
1/4" = 1'-0"



② LONGITUDINAL SECTION
1/4" = 1'-0"



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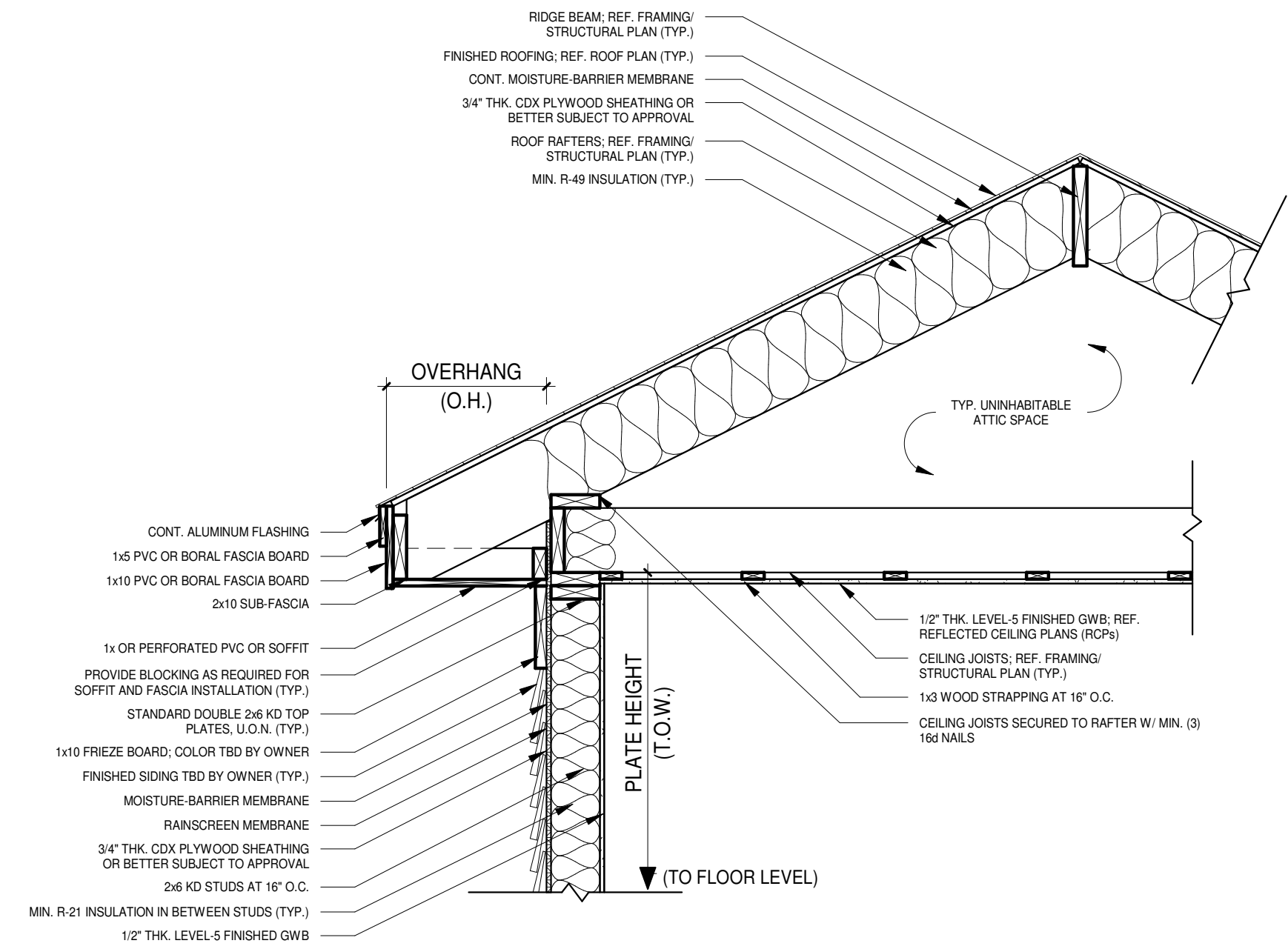
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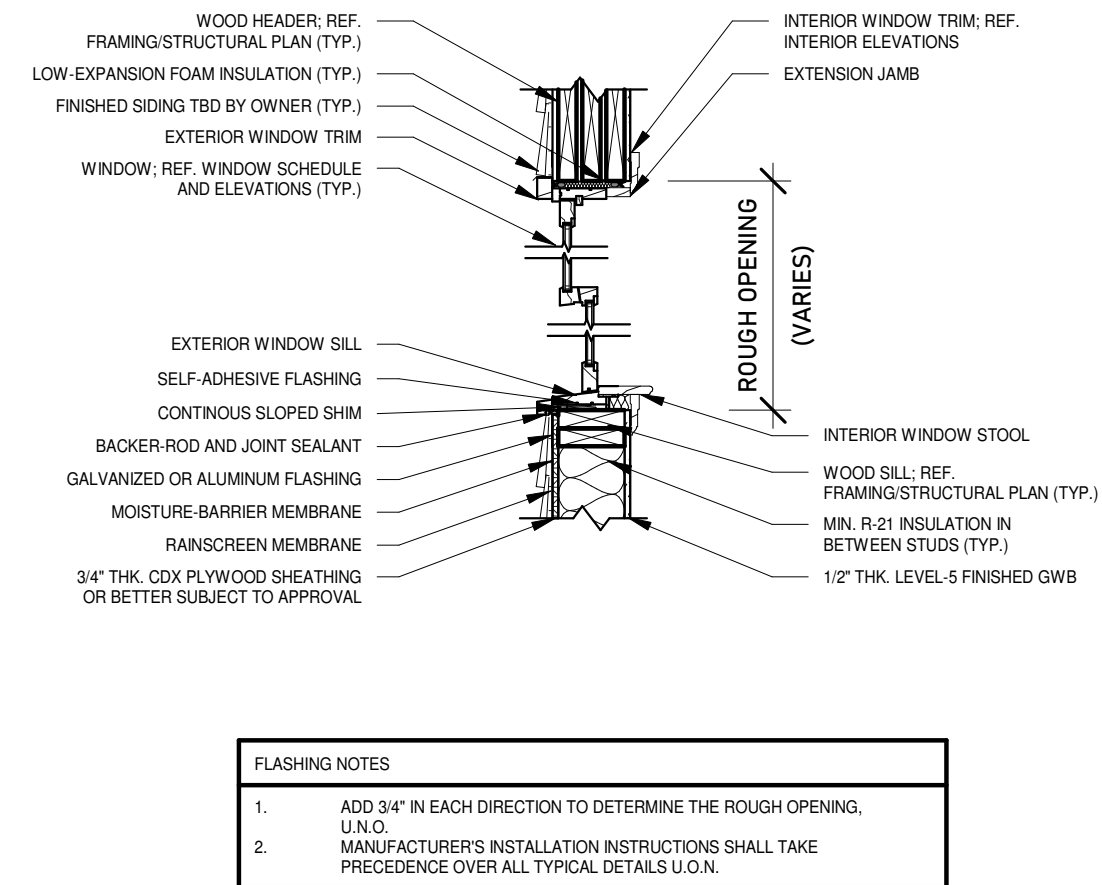
28 May, 2024

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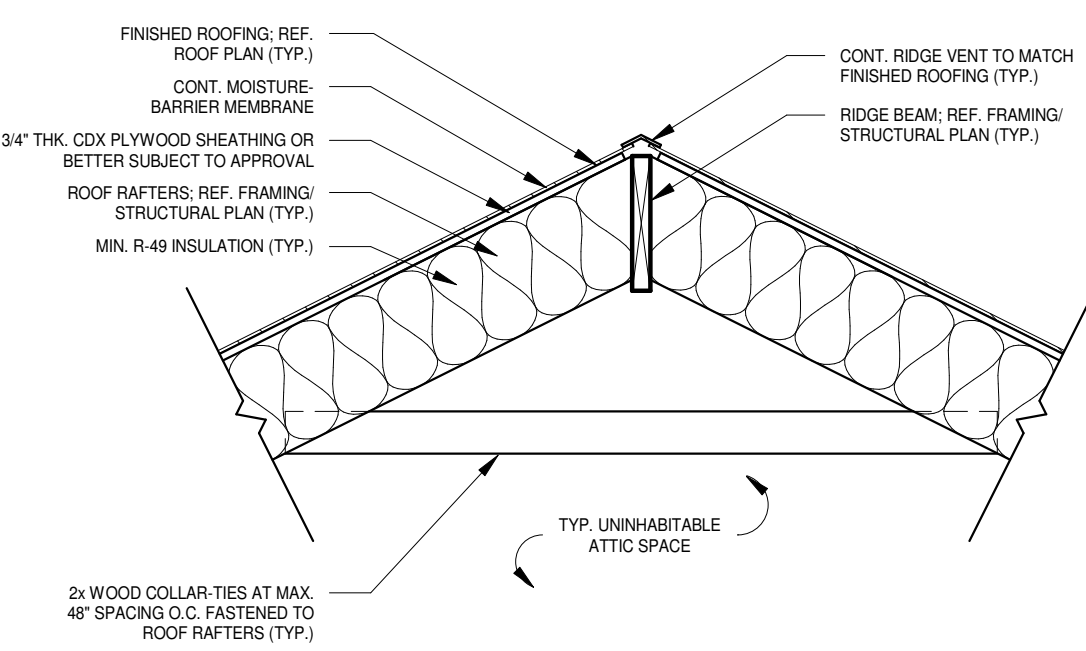
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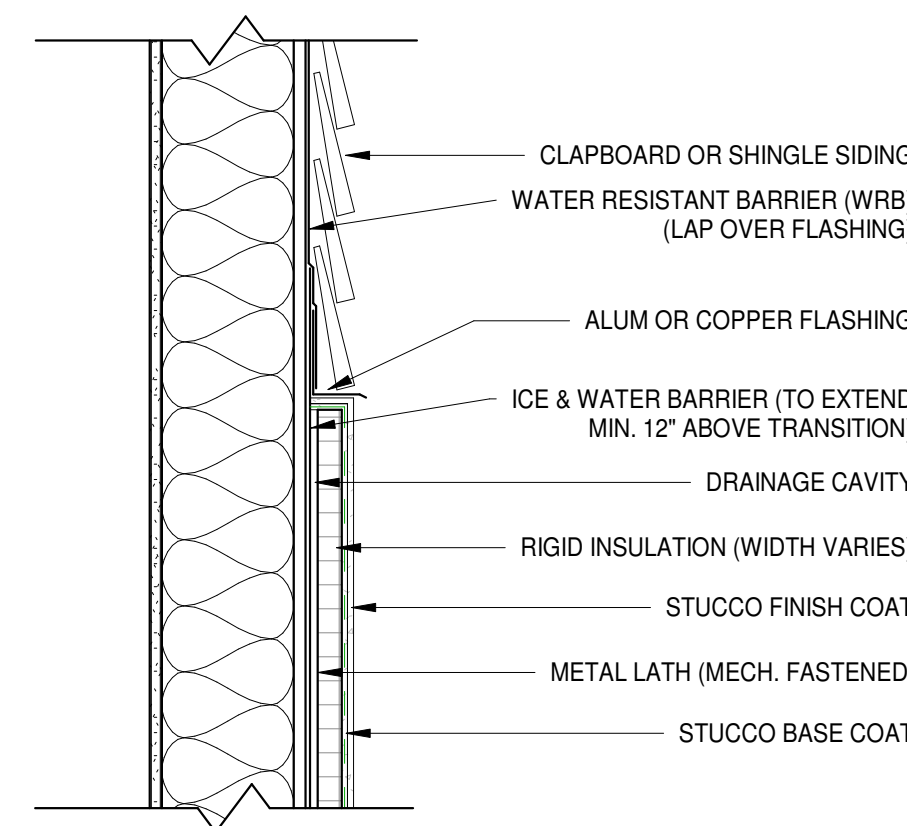
① TYPICAL EXT. WALL / HOT ROOF
3/4" = 1'-0"



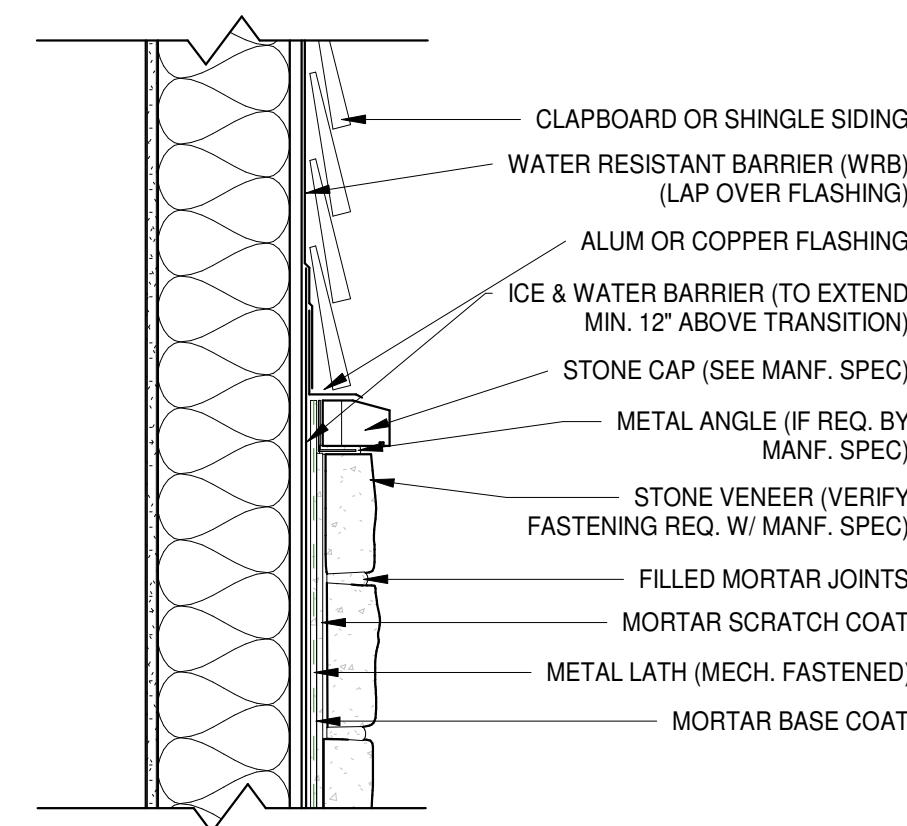
② TYPICAL FLASHING INSTALLATION
3/4" = 1'-0"



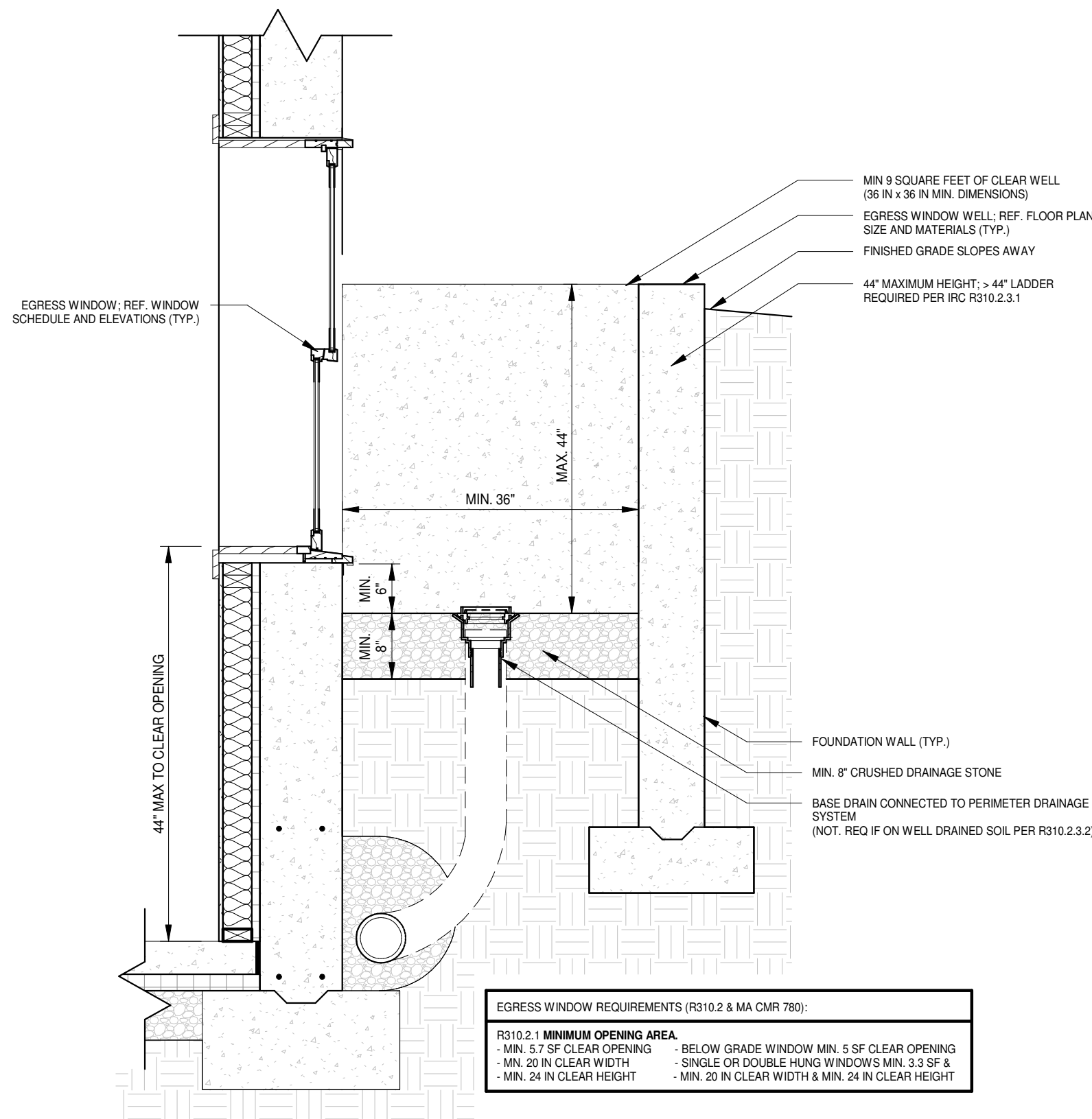
③ TYPICAL ROOF RIDGE VENTING
3/4" = 1'-0"



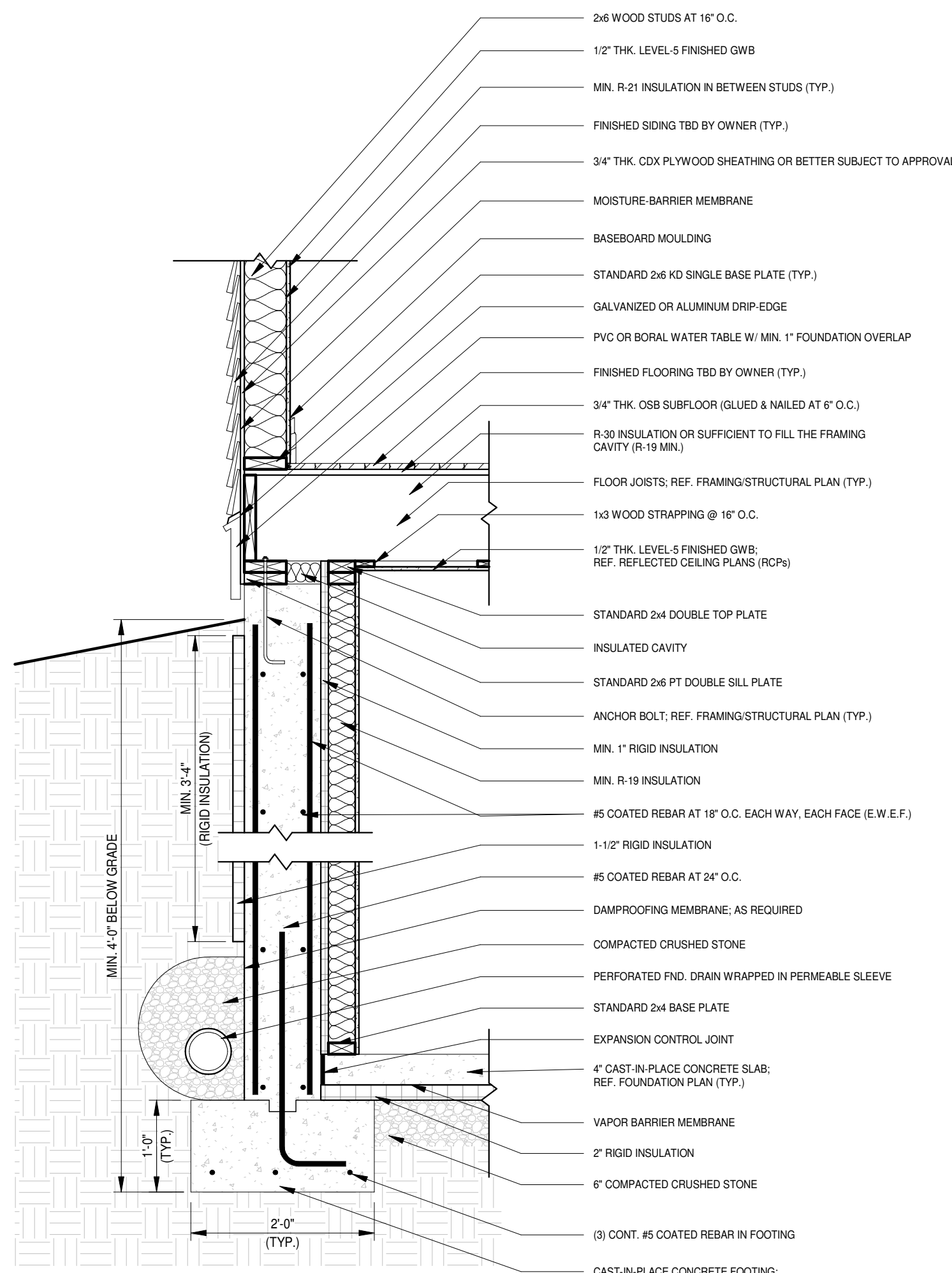
⑧ TYPICAL EIFS TO SIDING TRANSITION
1 1/2" = 1'-0"



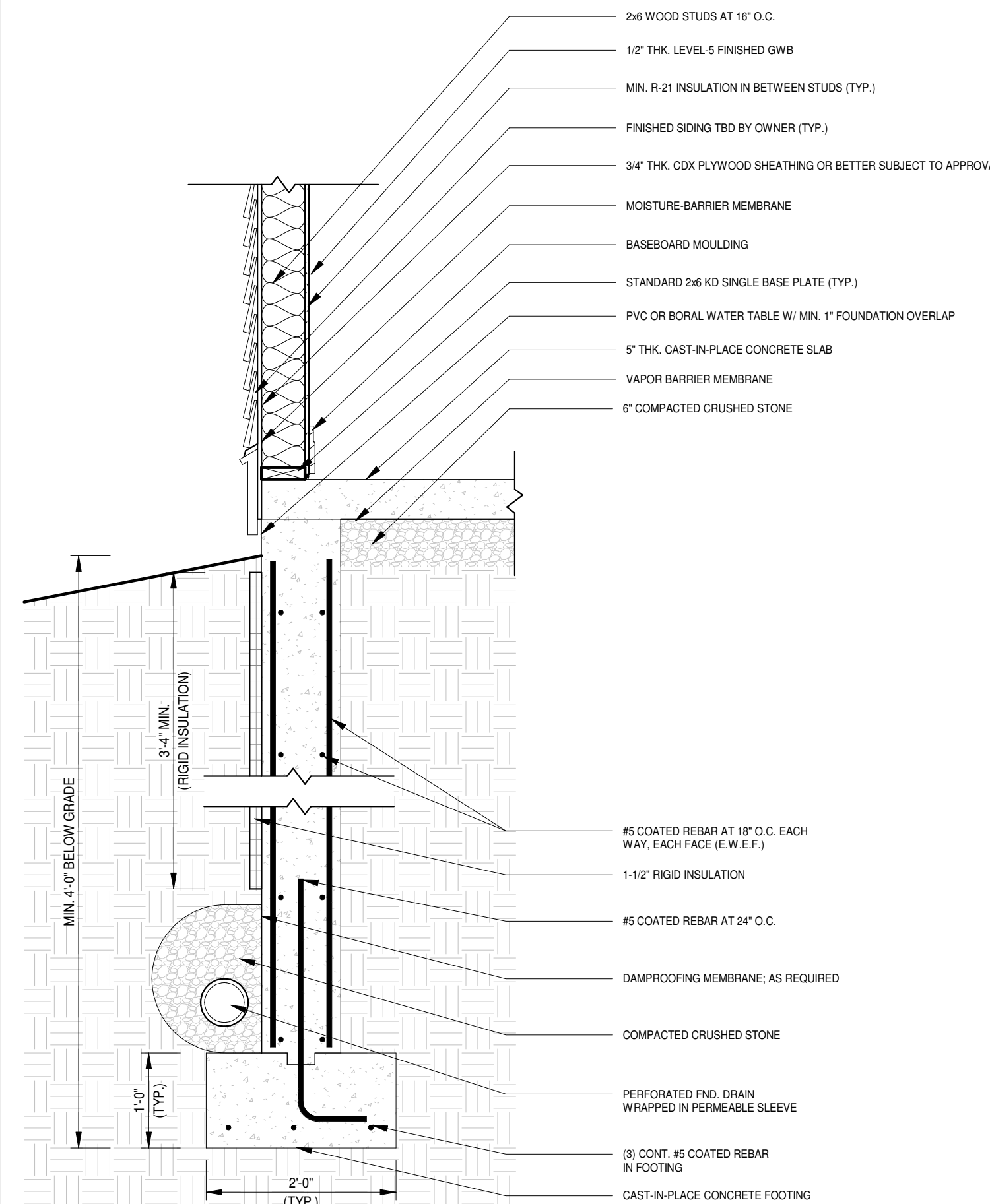
⑨ TYPICAL STONE TO SIDING TRANSITION
1 1/2" = 1'-0"



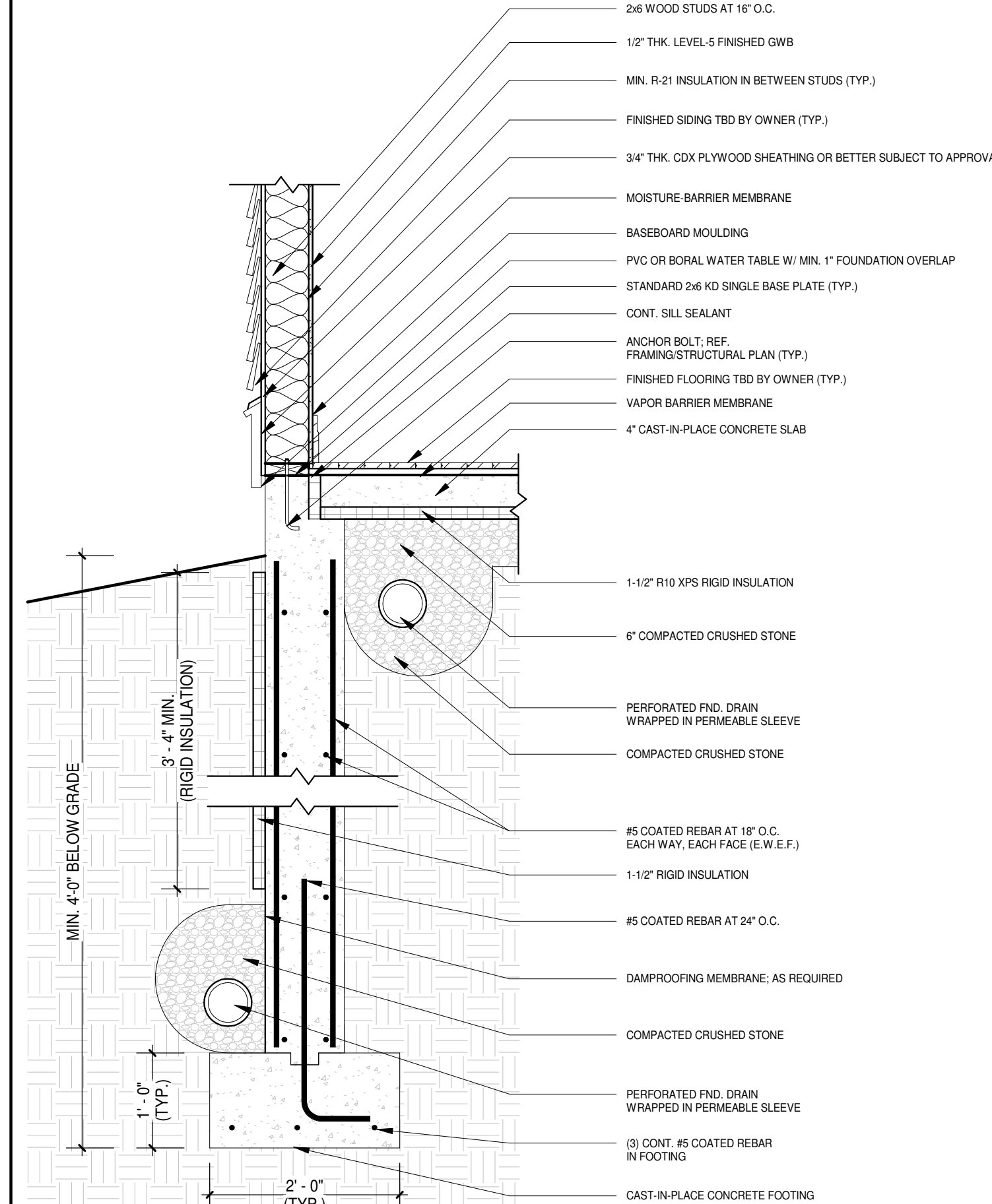
④ TYPICAL EGRESS WINDOW WELL
3/4" = 1'-0"



⑤ TYPICAL EXT. WALL W/ BASEMENT
3/4" = 1'-0"



⑥ TYPICAL EXT. WALL W/ GARAGE SLAB
3/4" = 1'-0"



⑦ TYPICAL EXT. WALL W/ SLAB ON GRADE
3/4" = 1'-0"



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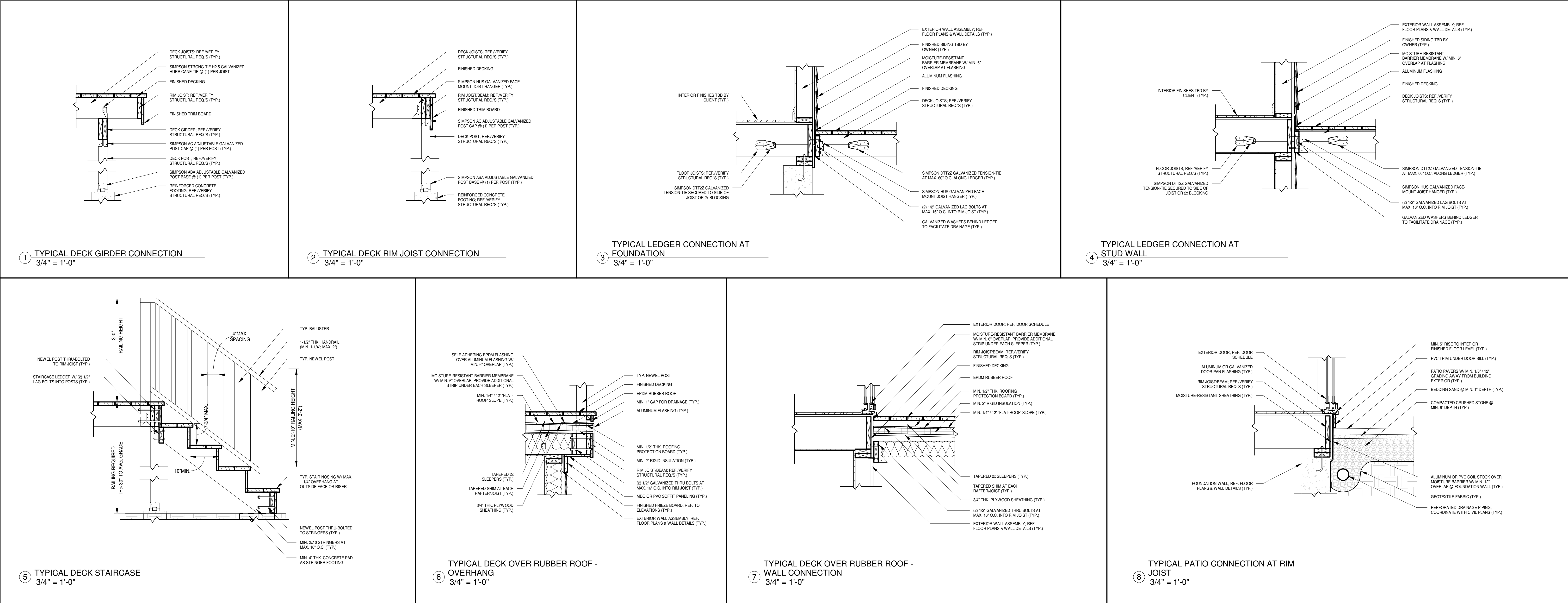
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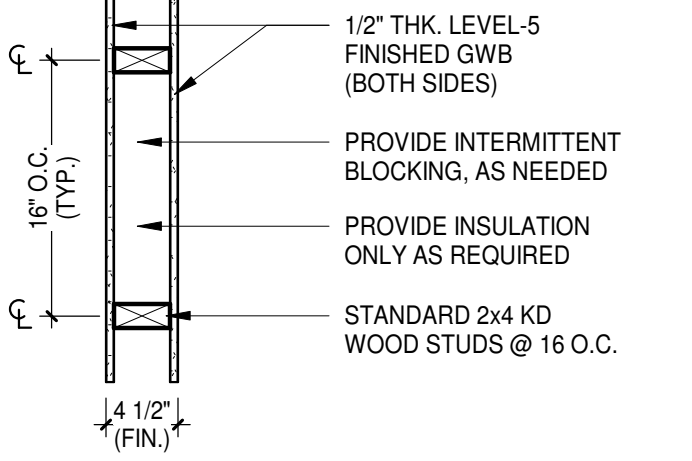
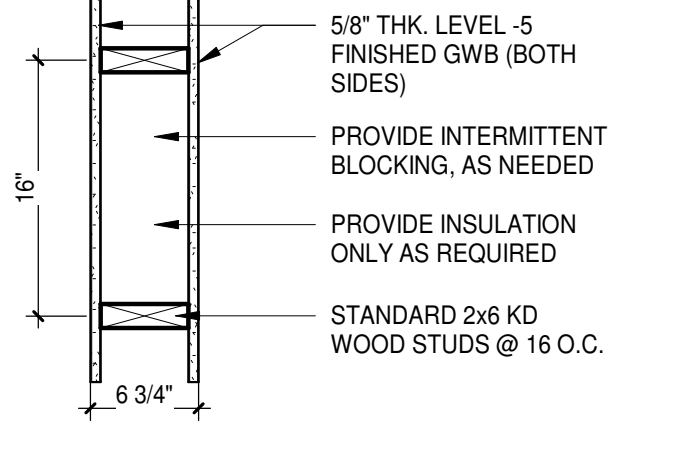
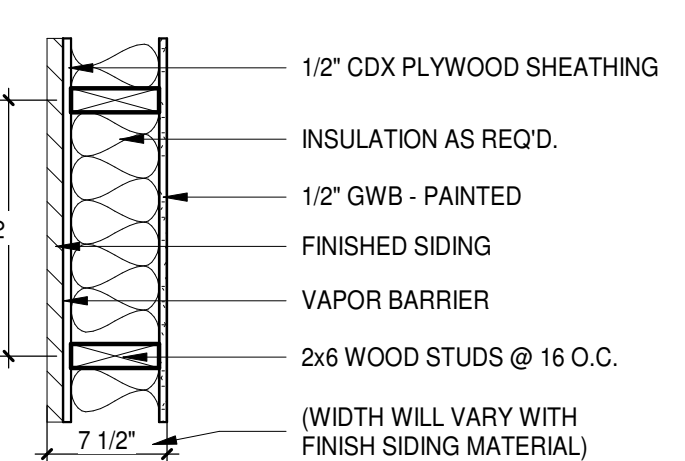
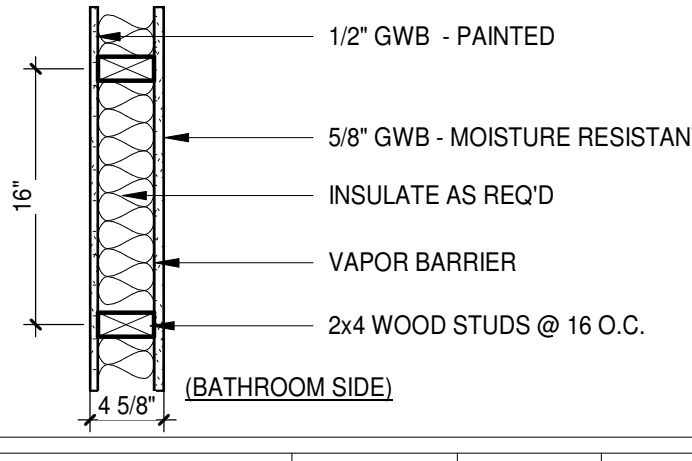
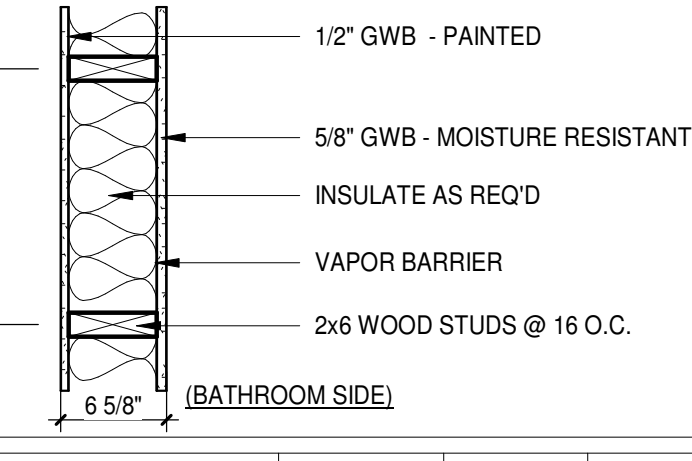

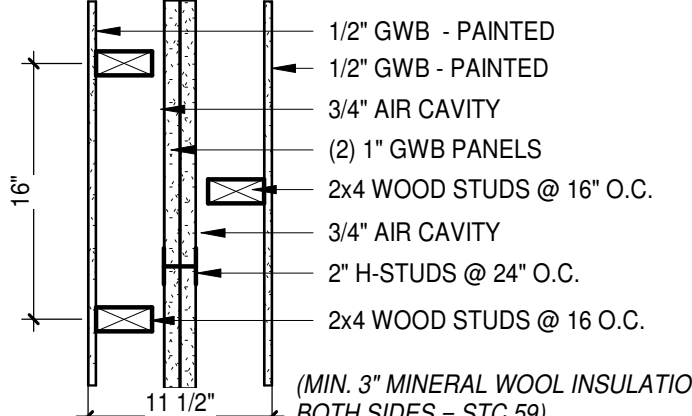
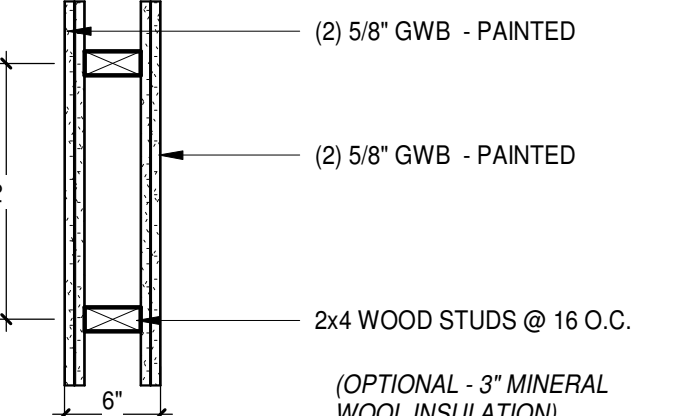
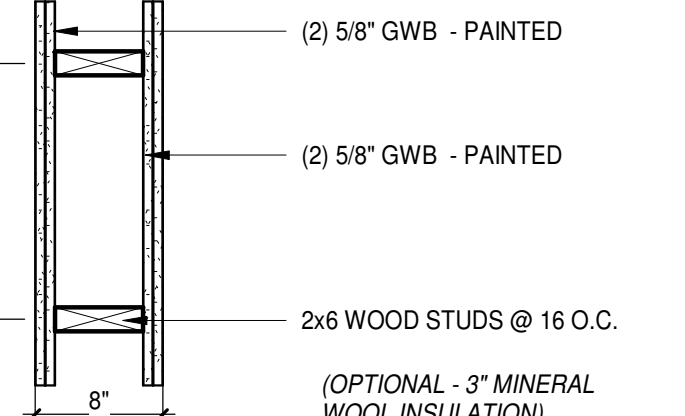
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Matthew and Ashlie Carvalho

28 May, 2024

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A401

| | | | | |
|---|--|------------------------|-------------------|-----------------|
| A | 2x4 WOOD FRAME WALL - 1/2" GWB | FIRE RATING 45 MIN. | UL DESIGN U317 | STC RAT. N/A |
| |  | | | |
| B | 2x6 WOOD FRAME WALL - 5/8" GWB | FIRE RATING 60 MIN. | UL DESIGN U305 | STC RAT. 33 |
| |  | | | |
| C | 2x6 WOOD FRAME EXT. WALL - 1/2" GWB | FIRE RATING N/A | UL DESIGN N/A | STC RAT. N/A |
| |  | | | |
| D | 2x4 WOOD FRAME WALL - MOISTURE RESIST | FIRE RATING N/A | UL DESIGN N/A | STC RAT. N/A |
| |  | | | |
| E | 2x6 WOOD FRAME WALL - MOISTURE RESIST | FIRE RATING N/A | UL DESIGN N/A | STC RAT. N/A |
| |  | | | |
| F | 2x6 WOOD FRAME WALL - 1/2" GWB | FIRE RATING 3/4 HR | UL DESIGN U317 | STC RAT. N/A |
| |  | | | |
| G | AREA SEPERATION - DIMISING WALL | FIRE RATING 2 HRS | UL DESIGN U336 | STC RAT. 46 |
| |  | | | |
| H | 2x4 WOOD STUD - FIRE WALL | FIRE RATING 2 HR | UL DESIGN U301 | STC RAT. N/A |
| |  | | | |
| I | 2x6 WOOD FRAME WALL - 1/2" GWB | FIRE RATING 2 HR | UL DESIGN U301 | STC RAT. N/A |
| |  | | | |

** WALL TYPES PROVIDED BY USG DESIGN STUDIO (WWW.USGDESIGNSTUDIO.COM)

GENERAL FLOOR PLAN NOTES:

- THESE DRAWINGS CONVEY DESIGN-INTENT. ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR.
- PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF RHODE ISLAND GENERAL LAWS, UNDER TITLE 5: BUSINESSES AND PROFESSIONS, CHAPTER 1: ARCHITECTS, SECTION 5-1-14 - PRACTICES PERMITTED, SUB-SECTIONS 3 AND 4, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC, OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).
- ALL DOOR STYLES, MATERIALS, FINISHES, AND TYPES SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.
- ALL WET OR HIGH HUMIDITY ROOMS TO HAVE MOISTURE-RESISTANT GWB.
- NON-LOAD-BEARING INTERIOR WALL STUDS TO BE 2x4 K.D. WOOD AT 16" O.C. TYP. UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL DIMENSIONS ARE PULLED FROM THE OUTSIDE FACE OF STUDS.
- ALL INTERIOR WALL DIMENSIONS ARE PULLED FROM THE CENTER OF STUDS.
- ALL DIMENSIONS LABELED "CLR." INDICATE DIMENSIONS PULLED FROM FINISHED FACES OF WALLS AND/OR FINISHED SURFACES.
- ALL SHOWER AND PARTITION DIMENSIONS AND REQUIREMENTS SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.
- CONTRACTOR SHALL VERIFY ALL INTERIOR FINISH WORK, MILLWORK, FLOORING, MOULDING, PAINTS, ETC., DIMENSIONS AND REQUIREMENTS WITH OWNER AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO ORDERING.
- ALL RAILINGS SHALL BE 36" ABOVE FINISHED FLOOR, TYP.
- ALL RAILING STYLES AND FINISHES SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.

GENERAL WINDOW & DOOR NOTES:

- WINDOW AND DOOR SIZES HAVE BEEN SPECIFIED BASED ON THE MANUFACTURERS' STANDARD SIZES.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL UNIT AND ROUGH OPENING SIZES WITH THE MANUFACTURER AND SELECT THE CLOSEST STANDARD SIZE WHERE APPLICABLE.
- WINDOW NUMBERS FOLLOWED BY AN 'A' SYMBOLIZES A NEW WINDOW THAT WILL BE PLACED IN AN EXISTING OPENING; THESE WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
- WINDOWS WITH BOX CHECKED ("X") UNDER (E) WILL BE REQUIRED TO BE AN EGRESS WINDOW.
- WINDOWS WITH BOX CHECK ("X") UNDER (T) WILL BE REQUIRED TO BE A TEMPERED WINDOW.
- ALL OPENINGS AND PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTION R302.5.1 THROUGH R302.5.3 OF THE IRC, 2015 EDITION.

WINDOW EGRESS NOTES:

- IT IS THE CONTRACTORS RESPSONSIBILITY TO VERIFY ALL BEDROOM WINDOWS TO ENSURE ANY AND ALL EGRESS COMPLIANCE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.
- A MINIMUM OF (1) EGRESS WINDOW SHALL BE PROVIDED IN EACH BEDROOM INCLUDING, BUT NOT LIMITED TO, ANY BEDROOMS LOCATED EITHER ABOVE OR BELOW FINISHED GRADE.
- THE MINIMUM EGRESS WINDOW OPENING AREA SHALL MEET OR EXCEED THE DIMENSIONAL REQUIREMENTS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES.
- ALL WINDOWS SHALL BE VERIFIED WITH THE MANUFACTURER OR MANUFACTURER'S REPRESENTATIVE TO ENSURE ANY AND ALL EGRESS COMPLIANCE.
- ALL EGRESS WINDOWS SHALL PROVIDE A MINIMUM UNOBSTRUCTED OPENING OF 5.7 SQ. FT. MEASURING AT LEAST 24" IN HEIGHT AND AT LEAST 20" IN WIDTH.
- ALL EGRESS WINDOWS SHALL NOT BE INSTALLED ABOVE 44" MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE UNOBSTRUCTED OPENING.

WINDOW INSTALLATION NOTES:

- WINDOWS INSTALLED WITH A SILL HEIGHT BELOW 18" ABOVE THE FINISHED FLOOR SHALL BE TEMPERED.
- WINDOWS INSTALLED WITH A HEAD HEIGHT BELOW 36" ABOVE THE FINISHED FLOOR SHALL BE TEMPERED, REGARDLESS OF SILL HEIGHT.
- OPERABLE WINDOWS INSTALLED WITH SILL HEIGHTS LESS THAN 24" ABOVE THE FINISHED FLOOR SHALL BE INSTALLED WITH CODE COMPLIANT FALL PROTECTION.
- ALL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- ALL INTERIOR AND EXTERIOR WINDOW CASING SHALL BE VERIFIED W/ OWNER AND COORDINATED BY CONTRACTOR PRIOR TO ORDERING.

DOOR INSTALLATION NOTES:

- ALL INTERIOR AND EXTERIOR DOORS ASSUME 6'-8" HEAD HEIGHTS, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DOORS SHALL BE INSULATED.
- ALL EXTERIOR DOORS WITH INFILL GLAZING SHALL HAVE TEMPERED AND INSULATED LOW-E ARGON FILLED.
- PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
- ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- ALL INTERIOR AND EXTERIOR DOOR CASING SHALL BE VERIFIED W/ OWNER AND COORDINATED BY CONTRACTOR PRIOR TO ORDERING.



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Matthew and Ashlie Carvalho

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