

Date 4/24/2024

Application No. \_\_\_\_\_

# **TOWN OF BARRINGTON**

# **ZONING BOARD OF REVIEW**

# **APPLICATION**

## **for Special Use Permit, Use or Dimensional Variance**

**Please note an appeal is a separate application**

Application under the Town of Barrington Zoning Ordinance for: *(check all that apply)*

## Dimensional Variance

- Dimensional Modification by Zoning Officer
  - Under 5 percent.
  - 5 to 15 percent.
- Zoning Board Application

## Special Use Permit

## Use Variance

The undersigned hereby applies to the Building/Zoning Official and/or Zoning Board of Review for relief, as indicated above, from the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Applicant: Matthew Carvalho

Address: 45 Orchard Ave.

Barrington, RI 02806

Owner: Matthew Carvalho  
(please print in block ink)

Address 45 Orchard Ave.

Barrington, RI 02806

Lessee: \_\_\_\_\_  
*(please print in black ink)*

Address: \_\_\_\_\_

1.	Location of Premises:	45 Orchard Ave.
	(No.)	(Street Name or Pole Number)
2.	Assessor's Plat No.:	28
	Lot No.:	059
	Zone:	R-14
3.	Dimensions of Lot:	80' (Frontage) 100' (Depth) 8,000 Sq. ft. (Area)
4.	How long owned:	7 years
5.	State present use of premises:	Single Family Home
6.	State proposed use of premises:	Single Family Home



(b) If dimensional relief is sought state number of feet to property line (where applicable)

*The required amount of feet for your zone can be found through the dimensions regulations table.*

**Please only fill out what is applicable to your application.**

Front yard #1:	22' 2"	ft. required	25'	existing	21' 10"	requested
Front yard #2:		ft. required		existing		requested
Side yard #1:		ft. required		existing		requested
Side Yard #2:		ft. required		existing		requested
Rear yard:		ft. required		existing		requested
Height:		ft. required		existing		requested
Wetlands:		ft. required		existing		requested
Lot Coverage:		sq. ft. max.		existing		requested
Lot Coverage:		% max.		existing		requested
Parking Spaces:		required		existing		requested

\* Note: Lot Coverage calculations are to include all structures on the lot including buildings, wood steps, wood decks and sheds. Ground level patios and landscape/masonry steps are not counted towards lot coverage under the Barrington Zoning Ordinance.

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The undersigned declares that the information given herein is a true statement to the best of his or her knowledge and belief.

Submitted by: (Please sign and print)

Matthew Carvalho

Applicant (Print)

M. Carvalho

Applicant's Signature

Applicant Tel. # 401-662-5316

Contact Person: Matt Carvalho

Email: MCARVALHO333@GMAIL.COM

Matthew Carvalho

Owner (Print)

Matt M. Carvalho

Owner's Signature

(if different from Applicant, signature must be provided)

Owner: Tel. # SAME

Contact Tel. #

Email: \_\_\_\_\_

**Please note:**

*By signing this application, the Applicant(s) and Land Owner(s) give permission to the Town of Barrington staff and members of the Zoning Board to enter the property individually or as a group for purposes of a site inspection.*

EAST BAY COMMUNITY DEVELO  
150 FRANKLIN STREET  
BRISTOL, RI 02809

GIMENEZ GREG  
GIMENEZ VIRGINIE C.  
33 COLONIAL AVENUE  
BARRINGTON, RI 02806

SOWADA ROBERT  
32 ORCHARD AVENUE  
BARRINGTON, RI 02806

BROWNELL CALEB J.  
BROWNELL SARA E.  
34 ORCHARD AVENUE  
BARRINGTON, RI 02806

GUSTAFSON MAUREEN B.  
42 ORCHARD AVENUE  
BARRINGTON, RI 02806

THE FIELD INTER VIVOS TRU  
LINDA S. FIELD (TRUSTEE)  
19 COLONIAL AVENUE  
BARRINGTON, RI 02806

CAPOVERDE DEBORAH A  
65 ORCHARD AVENUE  
BARRINGTON, RI 02806

IGLE RAYMOND P  
21 COLONIAL AVE  
BARRINGTON, RI 02806

DONATO MATTHEW T.  
DONATO KATHERINE R.  
7 COLONIAL AVENUE  
BARRINGTON, RI 02806

LAXTON PETER  
LAXTON YMELDA  
96 ALFRED DROWN ROAD  
BARRINGTON, RI 02806

DU TAO  
ZHANG JIANGFENG  
60 ORCHARD AVENUE  
BARRINGTON, RI 02806

MCELROY BRIAN J.  
MCELROY CHERYL ANNE  
37 COLONIAL AVENUE  
BARRINGTON, RI 02806

DUCHARME MARIANNE S.  
DUCHARME PETER  
17 COLONIAL AVENUE  
BARRINGTON, RI 02806

MORRIS DAVID J.  
MORRIS DARLENE M.  
35 ORCHARD AVENUE  
BARRINGTON, RI 02806

EAST BAY COMMUNITY DEVELO  
150 FRANKLIN STREET  
BRISTOL, RI 02809

NICHOLS FAMILY (TRUST)  
68 ORCHARD AVENUE  
BARRINGTON, RI 02806

FERRARA JOHN A.  
30 ORCHARD AVENUE  
BARRINGTON, RI 02806

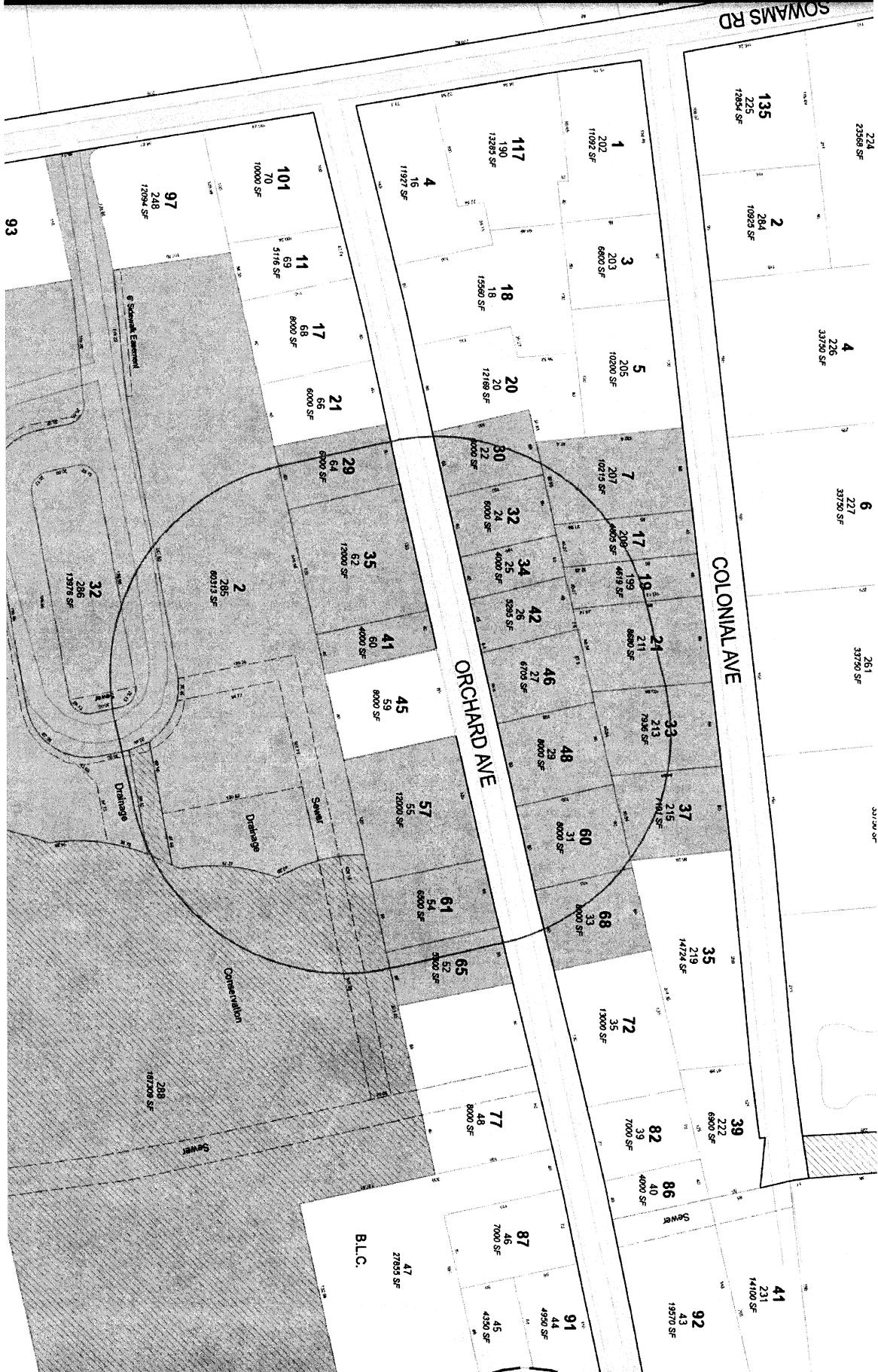
OLIVER LESLIE M.  
29 ORCHARD AVENUE  
BARRINGTON, RI 02806

FLODERUS LARS  
FLODERUS TERESA  
61 ORCHARD AVENUE  
BARRINGTON, RI 02806

SELINGER YEHUDA  
SELINGER MARCIA R.  
48 ORCHARD AVENUE  
BARRINGTON, RI 02806

FRANCIS DEBORAH  
FRANCIS CHRISTOPHER  
57 ORCHARD AVENUE  
BARRINGTON, RI 02806

SNOW JASON E.  
SNOW JOCELYNNE  
41 ORCHARD AVENUE  
BARRINGTON, RI 02806



**LOT COVERAGE (25% MAX)**

TOTAL LOT SIZE: 8,000 SF

EXISTING DWELLING: 780 SF

EXISTING PORCH: 108 SF

EXISTING DECK: 224 SF

EXISTING LOT COVERAGE: 1,112 SF (13.9%)

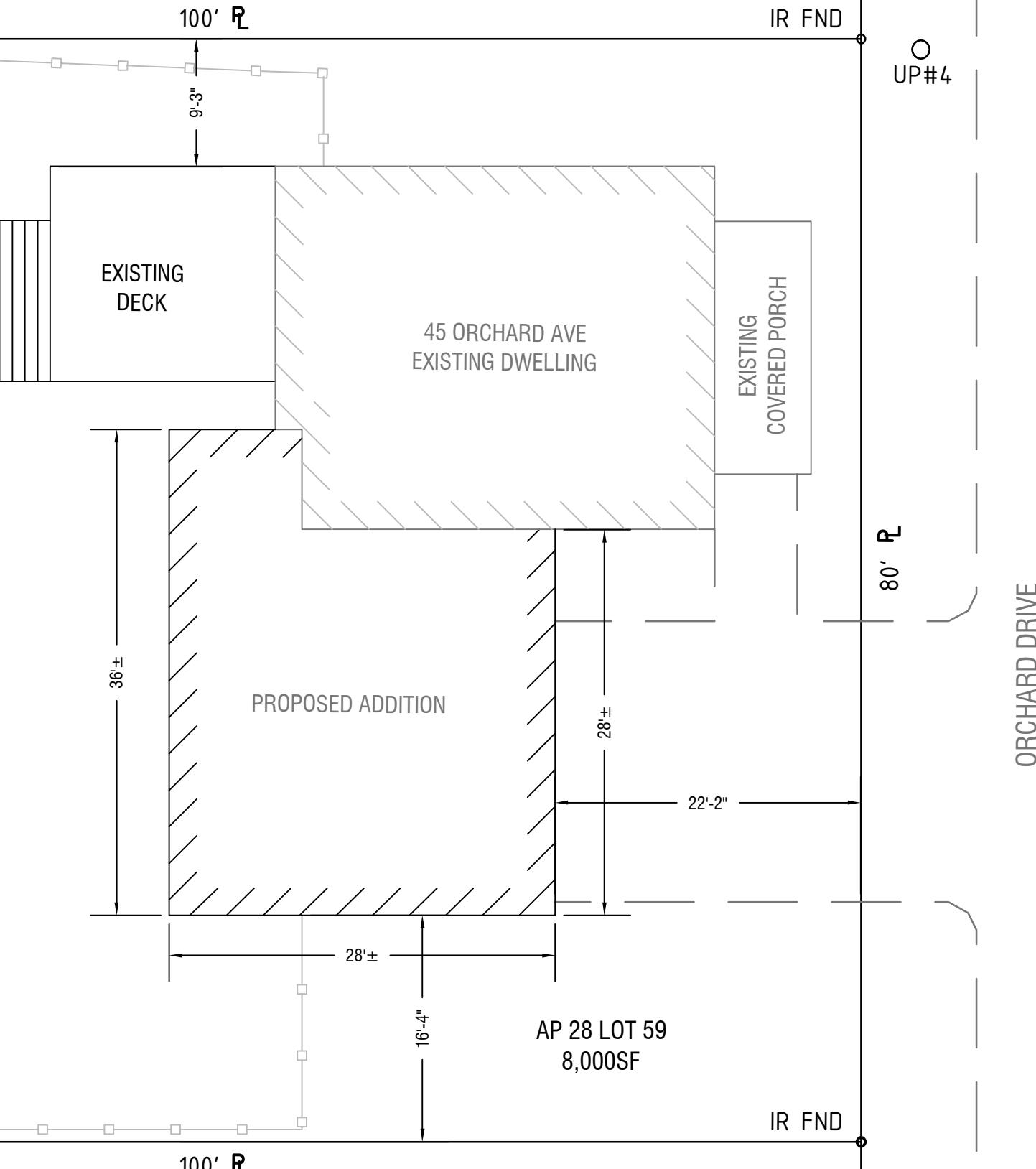
PROPOSED ADDITION: 850 SF

PROPOSED LOT COVERAGE: 1,962 SF (24.5%)

SET BACKS	REQ'D	EXIST.	PROVIDED @ ADDITION
FRONT:	25'	4' (PORCH)	22'-2"
SIDE:	9'	9'3" (DECK)	16'4"
REAR:	20'	40' (DECK)	50'±

**NEW ADDITION PLAN - 45 ORCHARD AVE**

SCALE: 1" = 10'

**MICHAEL JAMES, PE**

CIVIL/STRUCTURAL DESIGN &amp; CONSULTING

POST OFFICE BOX 1018  
PORTSMOUTH RI, 02871  
401-499-2568

DESIGNED BY:

M. JAMES

DATE:

06/2024

DRAWN BY:

M. JAMES

SCALE:

AS NOTED

SATISFACTORY TO:

CLIENT/OWNER DATE

PROPOSED ADDITION FOR CARVALHO RESIDENCE

PLAT 28 LOT 59  
45 ORCHARD AVE  
BARRINGTON RI  
SITE PLAN

SHEET ID

C-1

SHEET 1 OF 1



FIRE SAFETY LEGEND		TYPICAL ABBREVIATIONS		LOCATION MAP		SHEET NO.	SHEET NAME	
CO	CARBON MONOXIDE DETECTOR	APPROX	Aluminum	INSUL	Insulation(Insulated)			
S/C	COMBINATION SMOKE/CARBON MONOXIDE DETECTOR	BD	Apparatus	LT	Light			
H	HEAT DETECTOR	BLDG	Building	MAX	Maximum			
S/D	SMOKE DETECTOR	CLG	Celing	MECH	Mechanical			
		CLR	Clear	MIN	Minimum			
		COL	Column	MISC	Miscellaneous			
		CONSTR	Concrete	NTS	Not In Contract			
		CONT	Continuous	OPP	Opposite			
		CPT	Ceramic	PLAM	Plastic Laminated			
		CT	Ceramic Tile	PTD	Painted			
		CTR	Center	REQ	Required			
		DET	Detail	RO	Rough Opening			
		DIA	Diameter	SM	Small			
		DISP	Dispenser	SST	Stainless Steel			
		DN	Drain	STD	Standard			
		DWG	Drawing	STL	Steel			
		ELEC	Electrical	STOR	Storage			
		EO	Equip	SUSP	Suspended			
		ETR	Existing to Remain	THK	Thickness			
		EXIST	Existing	TYP	Typical			
		FRT	Front	VOB	Veneer on Base			
		GA	Gauge	VPB	Veneer Plaster Base			
		GL	Gloss	WC	Water closet			
		GWB	Gypsum Wall Board	WD	Wood			
		HCP	Handicapped	W/W	With			
		HDP	High Density Polymer	W/O	Without			
		HR	Hour	WT	Weight			
		HT	Height					
DIMENSION(S) LOCATIONS:		TYPICAL WINDOW NOTATIONS		PROPOSED FLOOR AREAS		GENERAL NOTES:		
1. When measuring the overall wall length, the dimensions shall be referenced from the EXTERIOR of the primary structural stud or beam, to the EXTERIOR of the secondary stud or beam.		FINED		EXISTING FIRST FLOOR GROSS FLOOR AREA 795 SQ. FT.		1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE BUILDING CODES, THE REQUIREMENTS OF THE LOCAL COMMUNITY AND ORDINANCE, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS, AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.		
2. When measuring between interior walls or from exterior to interior walls, the dimensions shall be referenced from the CENTER of the primary stud core, to the CENTER of the secondary stud core.		DH		EXISTING SECOND FLOOR GROSS FLOOR AREA 632 SQ. FT.		2. DO NOT SCALE THESE DRAWINGS. REFER TO BUILDING DESIGN DRAWINGS FOR DIMENSIONS, LIMITS, AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL FRAMING MEMBERS AND COMPONENTS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL ELEVATIONS.		
3. Windows and doors shall have a dimension referring one side of the ROUGH OPENING to the INTERIOR of the referenced wall stud core.		SH - B		PROPOSED FIRST FLOOR GROSS FLOOR AREA 892 SQ. FT.		3. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE BUILDING DESIGN, MECHANICAL, AND ELECTRICAL DRAWINGS. THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APPURTENANCES.		
4. FINISHED dimensions shall be annotated with arrows on both ends, and shall reference the finish face of the element.		SH - T		PROPOSED SECOND FLOOR GROSS FLOOR AREA 791 SQ. FT.		4. DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH BUILDING DESIGN DRAWINGS PRIOR TO DETAILING, FABRICATION, AND ERECTION OF ALL STRUCTURAL MEMBERS. EXISTING LAYOUT, ITEMS, AND CONDITIONS MAY DIFFER FROM AS SHOWN. ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/DESIGN PROFESSIONAL PRIOR TO PROCEEDING WITH THE AFFECTED PART OF WORK.		
5. It is the Contractor's responsibility to understand the measurement locations and shall report any discrepancies or uncertainties to the Owner/Design Professional prior to beginning and/or continuing construction.		CASE - L		TOTAL LOT COVERAGE: 1,557 SQ. FT.		5. IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.		
6. When measuring the overall wall length, the dimensions shall be referenced from the CENTER of the primary stud core, to the CENTER of the secondary stud core.		CASE - R		TOTAL LOT AREA: 8,000 SQ. F.T. (25% MAX. LOT COVERAGE EQUALS PER R10 ZONING = 2,000 SQ. FT.)		6. FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS, AND EXTENT OF ALL MEMBERS, CONNECTIONS, AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.		
7. ALL REQUIRED PERMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.		AWN		INTERIOR ELEVATION		7. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION. CONTRACTOR SHALL NOTIFY OWNER/BUILDING DESIGNER WITH ANY DISCREPANCIES, QUESTIONS AND/OR CONCERNs. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.		
8. ALL MECHANICAL, PLUMBING, AND ELECTRICAL WORK SHALL BE COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR, SUBJECT TO APPROVAL BY OWNER.		TYPICAL SYMBOL LEGEND				8. DRAWN INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.		
9. ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.						10. ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.		
10. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.						11. DO NOT SCALE THESE DRAWINGS FOR QUANTITIES, LENGTHS, SIZES, AREAS, ETC.		
11. CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL PROVIDE ALL NECESSARY COMPONENTS AND ACCESSORIES FOR A COMPLETE INSTALLATION.						12. CONTRACTOR AND HIS/HER SUB-CONTRACTORS SHALL PROVIDE ALL NECESSARY COMPONENTS AND ACCESSORIES FOR A COMPLETE INSTALLATION.		
12. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE BUILDING DESIGNER AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.						13. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC. OF THIS SYSTEM, HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE TO THE SATISFACTION OF THE BUILDING DESIGNER AND THE OWNER, AND IN STRICT CONFORMANCE WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODE REGULATIONS.		
13. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.						14. CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY DEMOLITION PRIOR TO INSTALLATION OF NEW MATERIAL.		
14. IF HAZARDOUS WASTES ENCOUNTERED, STOP WORK AND CONTACT THE OWNER AND ARCHITECT IMMEDIATELY TO INITIATE ABATEMENT PROCEDURES IN ACCORDANCE WITH DHCD STANDARDS.						15. ALL CONSTRUCTION SHALL MEET ENERGY-STAR COMPLIANCE, WHERE APPLICABLE AND/OR REQUIRED.		
15. ALL CONSTRUCTION SHALL MEET ENERGY-STAR COMPLIANCE, WHERE APPLICABLE AND/OR REQUIRED.						16. CONCRETE STRENGTH SHALL BE AS FOLLOWS: A. ALL CONCRETE - MIN. COMPRESSIVE STRENGTH = 4000 PSI		
16. CONCRETE STRENGTH SHALL BE AS FOLLOWS: A. ALL CONCRETE - MIN. COMPRESSIVE STRENGTH = 4000 PSI								

**Carvalho Residence**  
45 Orchard Avenue, Barrington, RI 02806  
Matthew and Ashlie Carvalho



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28 May, 2024

ACHV DESIGN - RESIDENTIAL

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#### GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE BUILDING CODES, THE REQUIREMENTS OF THE LOCAL COMMUNITY AND ORDINANCE, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS, AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
- DO NOT SCALE THESE DRAWINGS. REFER TO BUILDING DESIGN DRAWINGS FOR DIMENSIONS, LIMITS, AND LOCATIONS REGARDING LAYOUT OF ALL STRUCTURAL FRAMING MEMBERS AND COMPONENTS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL ELEVATIONS.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE BUILDING DESIGN, MECHANICAL, AND ELECTRICAL DRAWINGS. THESE DRAWINGS SHALL BE REFERRED TO FOR SIZE AND LOCATION OF APPURTENANCES.
- DIMENSIONS SHOWN ON THE DRAWINGS MUST BE COORDINATED WITH BUILDING DESIGN DRAWINGS PRIOR TO DETAILING, FABRICATION, AND ERECTION OF ALL STRUCTURAL MEMBERS. EXISTING LAYOUT, ITEMS, AND CONDITIONS MAY DIFFER FROM AS SHOWN. ALL EXISTING CONDITIONS AND DIMENSIONS MUST BE VERIFIED IN FIELD PRIOR TO COMMENCING THE WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/DESIGN PROFESSIONAL PRIOR TO PROCEEDING WITH THE AFFECTED PART OF WORK.
- IT IS THE BIDDER'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE PRIOR TO BIDDING. FAILURE TO EXAMINE THE SITE AND THE CONTRACT DOCUMENTS WILL NOT RELIEVE THE BIDDER FROM ANY OBLIGATION UNDER THE BID AS SUBMITTED.
- FABRICATOR FOR EACH STRUCTURAL TRADE SHALL PREPARE SHOP DRAWINGS SHOWING LOCATION, LIMITS, DIMENSIONS, AND EXTENT OF ALL MEMBERS, CONNECTIONS, AND DETAILS TO BE SUBMITTED FOR APPROVAL. NO ERECTION SHALL BE PERFORMED WITHOUT THE APPROVAL OF SHOP DRAWINGS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AT ALL TIMES TO PROTECT ADJOINING PROPERTY FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO PRESENT CONDITION. CONTRACTOR SHALL NOTIFY OWNER/BUILDING DESIGNER WITH ANY DISCREPANCIES, QUESTIONS AND/OR CONCERNs. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
- DRAWN INFORMATION IS TAKEN FROM EXISTING CONDITIONS AND RANDOM FIELD MEASUREMENTS AND IS PROVIDED ONLY TO ASSIST THE CONTRACTOR IN ESTABLISHING THE SCOPE OF WORK.
- ALL FOUNDATIONS SHALL BE PLACED ON FROZEN SOIL OR WATER. PROVIDE PROPER DRAINAGE OF EXCAVATION WITH PLASTIC PIPE TO PROTECT AGAINST WATER. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB DUE TO OVER EXCAVATION, STRUCTURAL FILL SHALL BE PLACED AND COMPAKTED TO 95% DRY DENSITY.
- PROVIDE PROPER DRAINAGE OF EXCAVATION OR COVER EXCAVATION WITH PLASTIC TO PROTECT AGAINST WATER.

#### GENERAL STRUCTURAL NOTES:

- ALL BARE REINFORCEMENT SHALL CONFORM TO ASTM A615 - GRADE 60
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE SUPPLIED IN FLAT SHEETS. WELDED WIRE FABRIC SHALL BE 6X6 - W4XW4 UNLESS OTHERWISE NOTED.
- MINIMUM CONCRETE CLEARANCES FOR PROTECTION OF REINFORCING:

  - SLABS: TOP = 2"
  - WALLS: ALL SIDES = 2" (MIN.)

- ALL EXPOSED CONCRETE EDGES SHALL HAVE 3/4" CHAMFER, USING EDGING TOOL WHERE NEEDED. EXPOSED CONCRETE SURFACES SHALL HAVE A PLYWOOD FINISH. JOISTS AND FINS SHALL BE SACKED TO A UNIFORM TEXTURE WHILE CONCRETE IS STILL GREEN, TO PRODUCE A SURFACE ACCEPTABLE TO THE DESIGNERS AND OWNER.
- CONSTRUCTION JOINT SPACING SHALL BE AS SHOWN ON THE DRAWINGS.
- BONDING AGENT FOR ADHERING NEW CONCRETE TO EXISTING CONCRETE SHALL BE APPLIED PRIOR TO POURING NEW CONCRETE. BONDING AGENT SHALL BE "WELDCRETE" AS MANUFACTURED BY LARSEN PRODUCTS CORP. OF ROCKVILLE, MD, OR APPROVED EQUAL.
- DOWELING OF NEW REINFORCEMENT INTO EXISTING CONCRETE SHALL BE ACHIEVED BY USING THE HILTI HVA "ADHESIVE ANCHOR METHOD". ALL INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
- CONTROL JOINTS SHALL BE PLACED THROUGHOUT AND EQUALLY SPACED NOT EXCEEDING 10' ON CENTER, IN ANY DIRECTION.

#### WOOD NOTES:

- ALL STRUCTURAL WOODWORK, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S SPECIFICATIONS FOR DESIGN, FABRICATION, AND ERECTION OF WOOD STRUCTURES.
- ALL WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESSURE-TREATED.
- ALL WOOD WITHIN 18" OF GRADE TO BE PRESSURE-TREATED.
- ALL STRUCTURAL LUMBER SHALL BE SOUTHERN PINE, DOUGLAS FIR, GRADE 1 OR APPROVED EQUAL WITH MINIMUM PROPERTIES OF:
  - E = 1,800 MPsi
  - Fb = 1500 MPsi
  - Fv = 190 MPsi

#### DIMENSION NOTE:

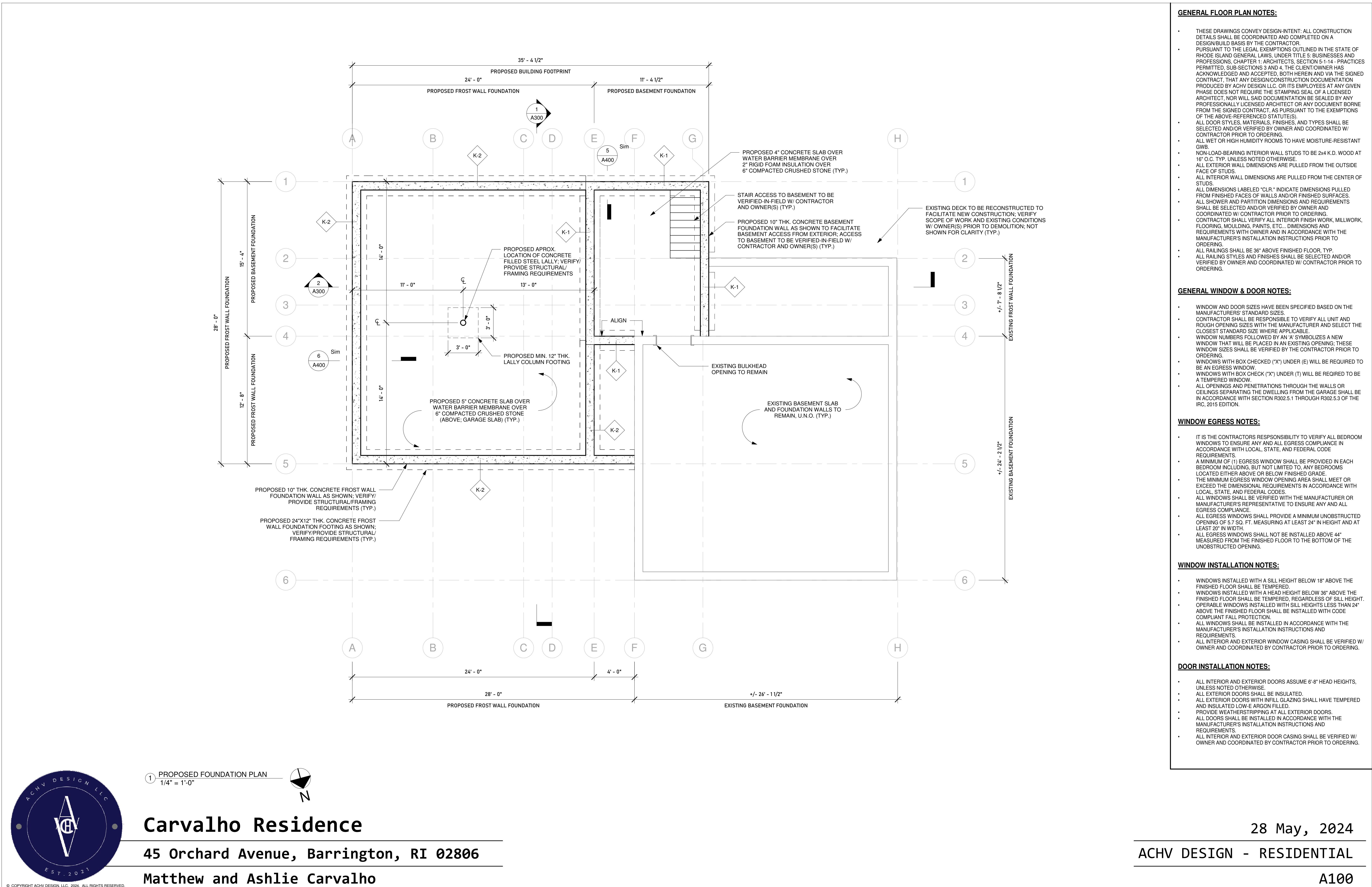
- ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR MUST VERIFY ALL EXISTING DIMENSIONS AND PREPARE LAYOUT DRAWING WITH ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH ANY NEW WORK.

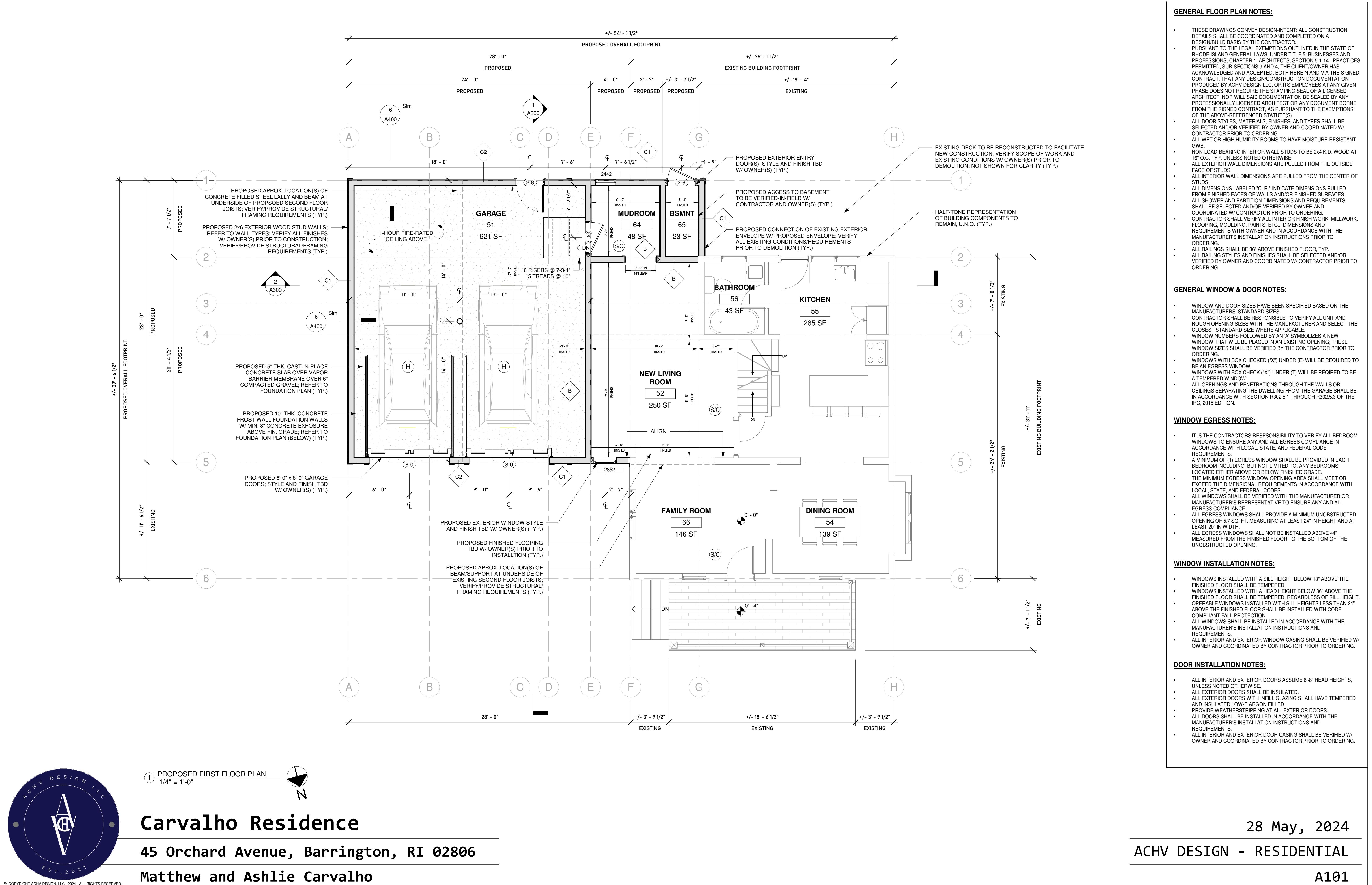
#### PRODUCTS:

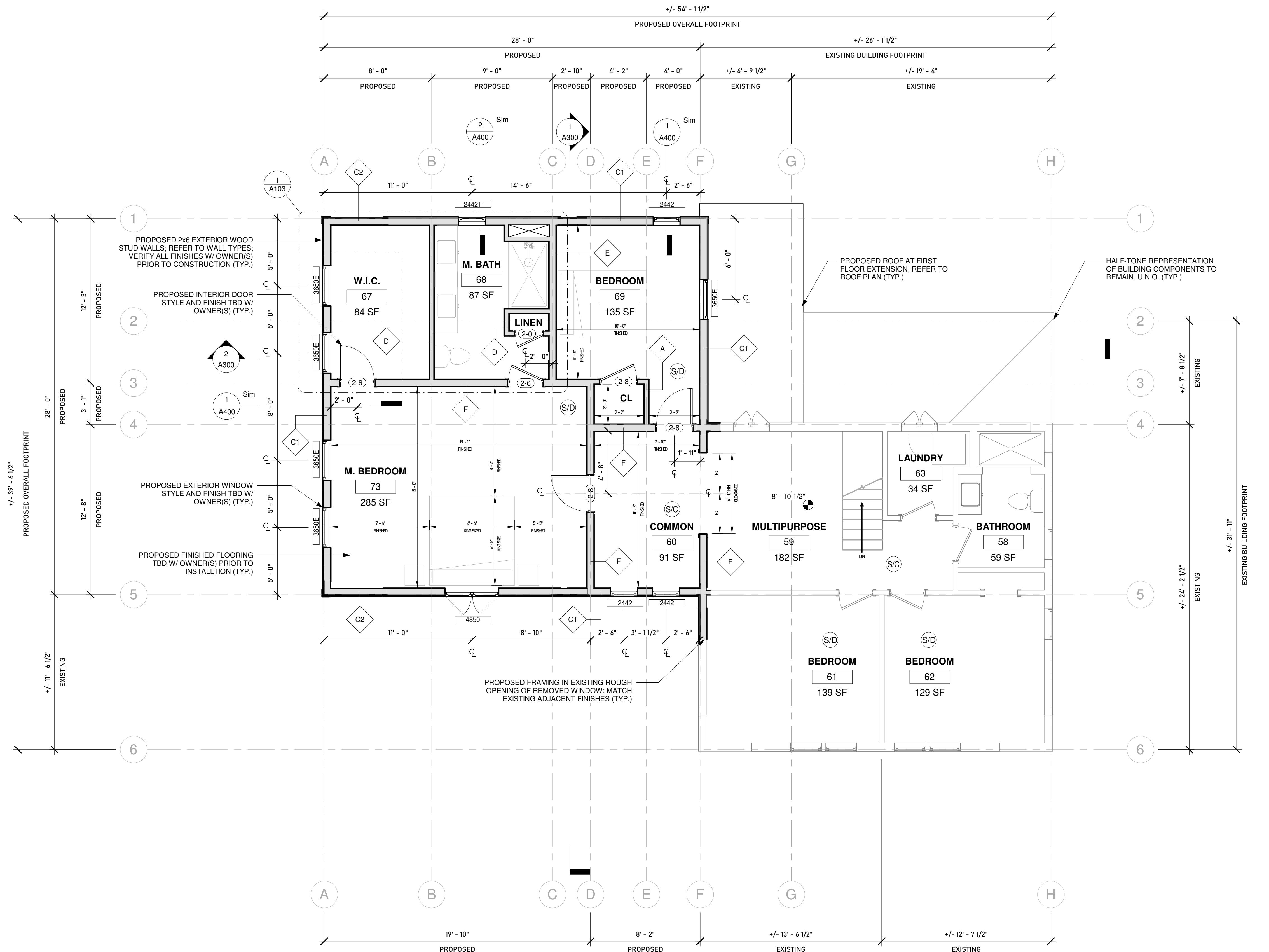
- SEE ATTACHED MATERIALS LIST FOR PRODUCTS AND/OR FINISHES.
- ALL FINISHES TO BE SELECTED BY OWNER. REFER TO OWNER FOR ALL FLOORING, COLORS, TEXTURES, FIXTURES, APPLIANCES, CABINETS, LIGHTING, ETC..
- ALL INTERIOR AND EXTERIOR TRIM DETAILS TO BE SELECTED BY OWNER. REFER TO OWNER FOR ALL WALL BASES, DOOR STYLES, WINDOW STYLES, CASINGS AT WINDOWS AND DOORS, ETC..
- ALL FIXTURES TO BE SELECTED BY OWNER. REFER TO OWNER FOR ALL PLUMBING FIXTURES, ELECTRICAL FIXTURES, APPLIANCE, CABINETS, LIGHTING, ETC..
- ALL SPECIFIED ITEMS, WHETHER EXPRESS OR IMPLIED, SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS, TECHNICAL BULLETINS, AND RECOMMENDATIONS OF THE SPECIFIED MANUFACTURER(S).

#### CONCRETE NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF AMERICAN CONCRETE INSTITUTE'S ACI 318 (BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE). CONCRETING SHALL FOLLOW REQUIREMENTS OF ACI 306 R FOR COLD WEATHER CURING AND ACI 305 R FOR HOT WEATHER CURING.
- CONCRETE STRENGTH SHALL BE AS FOLLOWS:  
A. ALL CONCRETE - MIN. COMPRESSIVE STRENGTH = 4000 PSI







# Carvalho Residence

**45 Orchard Avenue, Barrington, RI 02806**

# Matthew and Ashlie Carvalho

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## **GENERAL FLOOR PLAN NOTES:**

THESE DRAWINGS CONVEY DESIGN-INTENT: ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR.

PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF RHODE ISLAND GENERAL LAWS, UNDER TITLE 5: BUSINESSES AND PROFESSIONS, CHAPTER 1: ARCHITECTS, SECTION 5-1-14 - PRACTICES PERMITTED, SUB-SECTIONS 3 AND 4, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC. OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).

ALL DOOR STYLES, MATERIALS, FINISHES, AND TYPES SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.

ALL WET OR HIGH HUMIDITY ROOMS TO HAVE MOISTURE-RESISTANT WB.

NON-LOAD-BEARING INTERIOR WALL STUDS TO BE 2x4 K.D. WOOD AT 16" O.C. TYP. UNLESS NOTED OTHERWISE.

ALL EXTERIOR WALL DIMENSIONS ARE PULLED FROM THE OUTSIDE FACE OF STUDS.

ALL INTERIOR WALL DIMENSIONS ARE PULLED FROM THE CENTER OF STUDS.

ALL DIMENSIONS LABELED "CLR." INDICATE DIMENSIONS PULLED FROM FINISHED FACES OF WALLS AND/OR FINISHED SURFACES.

ALL SHOWER AND PARTITION DIMENSIONS AND REQUIREMENTS SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.

CONTRACTOR SHALL VERIFY ALL INTERIOR FINISH WORK, MILLWORK, COLORING, MOULDING, PAINTS, ETC... DIMENSIONS AND REQUIREMENTS WITH OWNER AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO ORDERING.

ALL RAILINGS SHALL BE 36" ABOVE FINISHED FLOOR, TYP.

ALL RAILING STYLES AND FINISHES SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.

## **GENERAL WINDOW & DOOR NOTES:**

INDOW AND DOOR SIZES HAVE BEEN SPECIFIED BASED ON THE MANUFACTURERS' STANDARD SIZES.

CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL UNIT AND DOUGH OPENING SIZES WITH THE MANUFACTURER AND SELECT THE CLOSEST STANDARD SIZE WHERE APPLICABLE.

INDOW NUMBERS FOLLOWED BY AN 'A' SYMBOLIZES A NEW INDOW THAT WILL BE PLACED IN AN EXISTING OPENING; THESE INDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.

INDOWS WITH BOX CHECKED ("X") UNDER (E) WILL BE REQUIRED TO BE AN EGRESS WINDOW.

INDOWS WITH BOX CHECK ("X") UNDER (T) WILL BE REQIRED TO BE TEMPERED WINDOW.

ALL OPENINGS AND PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE ACCORDANCE WITH SECTION R302.5.1 THROUGH R302.5.3 OF THE C, 2015 EDITION.

## **WINDOW EGRESS NOTES:**

IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL BEDROOM  
INDOWS TO ENSURE ANY AND ALL EGRESS COMPLIANCE IN  
CCORDANCE WITH LOCAL, STATE, AND FEDERAL CODE  
EQUIREMENTS.

MINIMUM OF (1) EGRESS WINDOW SHALL BE PROVIDED IN EACH  
EDROOM INCLUDING, BUT NOT LIMITED TO, ANY BEDROOMS  
OCATED EITHER ABOVE OR BELOW FINISHED GRADE.

THE MINIMUM EGRESS WINDOW OPENING AREA SHALL MEET OR  
EXCEED THE DIMENSIONAL REQUIREMENTS IN ACCORDANCE WITH  
LOCAL, STATE, AND FEDERAL CODES.

ALL WINDOWS SHALL BE VERIFIED WITH THE MANUFACTURER OR  
MANUFACTURER'S REPRESENTATIVE TO ENSURE ANY AND ALL  
GRESS COMPLIANCE.

ALL EGRESS WINDOWS SHALL PROVIDE A MINIMUM UNOBSTRUCTED  
OPENING OF 5.7 SQ. FT. MEASURING AT LEAST 24" IN HEIGHT AND AT  
LEAST 20" IN WIDTH.

ALL EGRESS WINDOWS SHALL NOT BE INSTALLED ABOVE 44"  
MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE  
UNOBSTRUCTED OPENING.

## **WINDOW INSTALLATION NOTES:**

INDOWS INSTALLED WITH A SILL HEIGHT BELOW 18" ABOVE THE  
NISHED FLOOR SHALL BE TEMPERED.

INDOWS INSTALLED WITH A HEAD HEIGHT BELOW 36" ABOVE THE  
NISHED FLOOR SHALL BE TEMPERED, REGARDLESS OF SILL HEIGHT.

PERABLE WINDOWS INSTALLED WITH SILL HEIGHTS LESS THAN 24"  
ABOVE THE FINISHED FLOOR SHALL BE INSTALLED WITH CODE  
OMPLIANT FALL PROTECTION.

LL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE  
ANUFACTURER'S INSTALLATION INSTRUCTIONS AND  
EQUIREMENTS.

LL INTERIOR AND EXTERIOR WINDOW CASING SHALL BE VERIFIED W/  
OWNER AND COORDINATED BY CONTRACTOR PRIOR TO ORDERING.

## **DOOR INSTALLATION NOTES:**

ALL INTERIOR AND EXTERIOR DOORS ASSUME 6'-8" HEAD HEIGHTS, UNLESS NOTED OTHERWISE.

ALL EXTERIOR DOORS SHALL BE INSULATED.

ALL EXTERIOR DOORS WITH INFILL GLAZING SHALL HAVE TEMPERED AND INSULATED LOW-E ARGON FILLED.

PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.

ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS.

ALL INTERIOR AND EXTERIOR DOOR CASING SHALL BE VERIFIED W/ WNR AND COORDINATED BY CONTRACTOR PRIOR TO ORDERING.

28 May, 2024

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A102

#### GENERAL FLOOR PLAN NOTES:

- THESE DRAWINGS CONVEY DESIGN INTENT: ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN-BUILD BASIS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL LEGAL EXEMPTIONS OUTLINED IN THE STATE OF RHODE ISLAND GENERAL LAWS, UNDER TITLE 5: BUSINESSES AND PROFESSIONS, CHAPTER 1: ARCHITECTS, SECTION 5-1-14. PRACTICES PERMITTED, SUB-SECTIONS 3 AND 4. THE CLIENT OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC, OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE REFERENCED STATUTE(S).
- ALL INTERIOR FLOOR FINISHES, TYPES AND TONES SHALL BE SELECTED AND OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.
- ALL WET OR HIGH HUMIDITY ROOMS TO HAVE MOISTURE-RESISTANT GWF.
- NON-LOAD-BEARING INTERIOR WALL STUDS TO BE 2x4 K.D. WOOD AT 16" O.C. TYP. UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL DIMENSIONS ARE PULLED FROM THE OUTSIDE FACE OF STUDS.
- ALL INTERIOR WALL DIMENSIONS ARE PULLED FROM THE CENTER OF STUDS.
- ALL DIMENSIONS LABELED "CLER" INDICATE DIMENSIONS PULLED FROM FINISHED FACES OF WALLS AND/OR FINISHED SURFACES.
- ALL SHOWER AND PARTITION DIMENSIONS AND REQUIREMENTS SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.
- CONTRACTOR SHALL VERIFY ALL INTERIOR FINISH WORK, MILLWORK, FLOORING, MOULDING, PAINTS, ETC., DIMENSIONS AND REQUIREMENTS WITH OWNER AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS PRIOR TO ORDERING.
- ALL RAILINGS SHALL BE 36" ABOVE FINISHED FLOOR, TYP.
- ALL RAILING STYLES AND FINISHES SHALL BE SELECTED AND/OR VERIFIED BY OWNER AND COORDINATED W/ CONTRACTOR PRIOR TO ORDERING.

#### GENERAL WINDOW & DOOR NOTES:

- WINDOW AND DOOR SIZES HAVE BEEN SPECIFIED BASED ON THE MANUFACTURER'S STANDARD SIZES.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL UNIT AND ROUGH OPENING SIZES WITH THE MANUFACTURER AND SELECT THE CLOSEST STANDARD SIZE WHERE APPLICABLE.
- WINDOW NUMBERS FOLLOWED BY AN 'A' SYMBOLIZE A NEW WINDOW THAT WILL BE PLACED IN AN EXISTING OPENING; THESE WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.
- WINDOWS WITH BOX CHECKED ("X") UNDER (E) WILL BE REQUIRED TO BE AN EGRESS WINDOW.
- WINDOWS WITH BOX CHECK ("X") UNDER (T) WILL BE REQUIRED TO BE A TEMPERED WINDOW.
- ALL OPENINGS AND PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTION R302.5.1 THROUGH R302.5.3 OF THEIRC, 2015 EDITION.

#### WINDOW EGRESS NOTES:

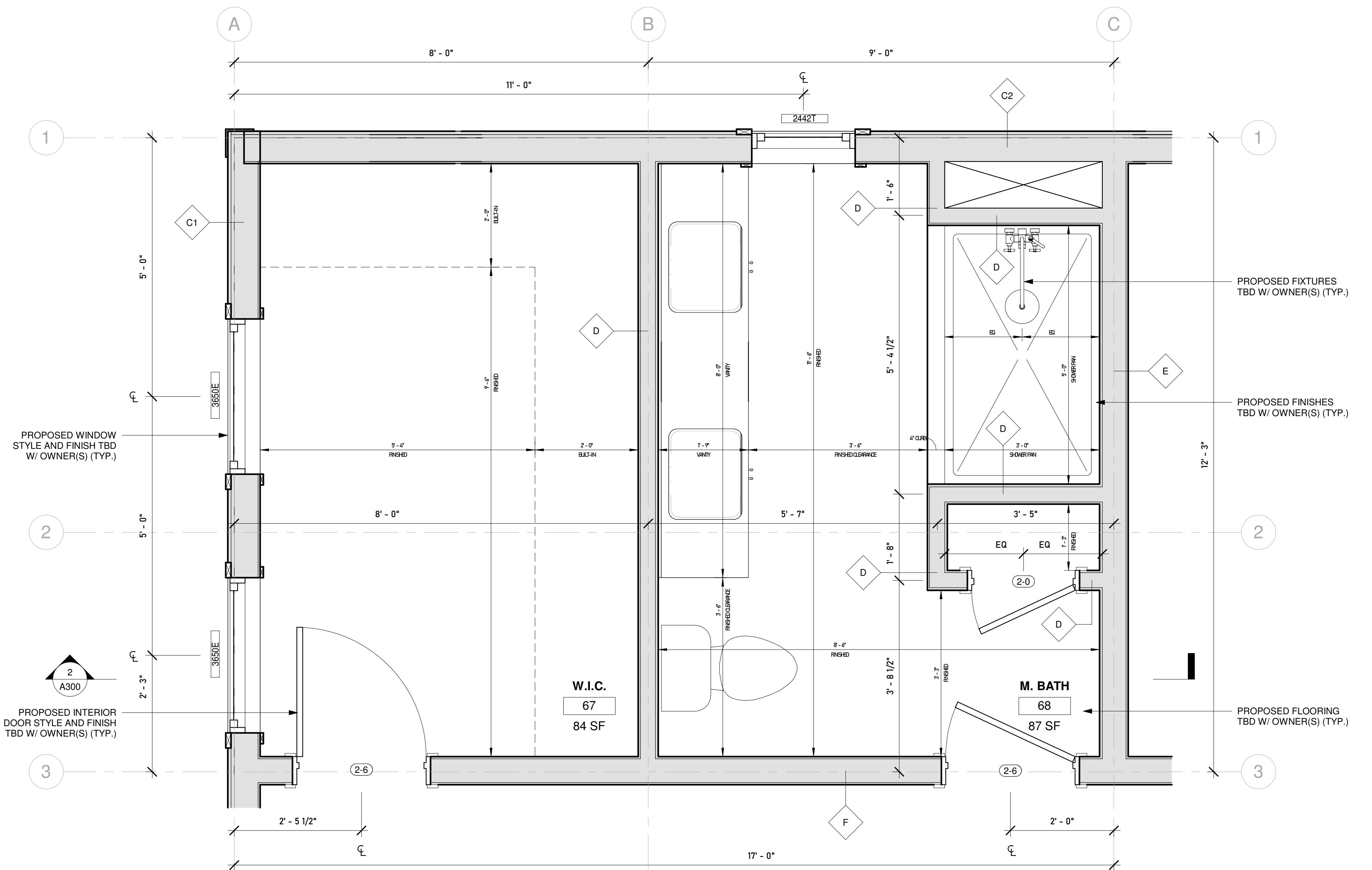
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL BEDROOM WINDOWS TO ENSURE ANY AND ALL EGRESS COMPLIANCE IN ACCORDANCE WITH LOCAL STATE, AND FEDERAL CODE REQUIREMENTS.
- A MINIMUM OF ONE EGRESS WINDOW SHALL BE PROVIDED IN EACH BEDROOM, INCLUDING, BUT NOT LIMITED TO, ANY BEDROOMS LOCATED EITHER ABOVE OR BELOW FINISHED GRADE.
- THE MINIMUM EGRESS WINDOW OPENING AREA SHALL MEET OR EXCEED THE DIMENSIONAL REQUIREMENTS IN ACCORDANCE WITH LOCAL STATE, AND FEDERAL CODES.
- ALL WINDOWS SHALL BE VERIFIED WITH THE MANUFACTURER OR MANUFACTURER'S REPRESENTATIVE TO ENSURE ANY AND ALL EGRESS COMPLIANCE.
- ALL EGRESS WINDOWS SHALL PROVIDE A MINIMUM UNOBSTRUCTED OPENING OF 5.7 SQ. FT. MEASURING AT LEAST 24" IN HEIGHT AND AT LEAST 20" IN WIDTH.
- ALL EGRESS WINDOWS SHALL NOT BE INSTALLED ABOVE 44" MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE UNOBSTRUCTED OPENING.

#### WINDOW INSTALLATION NOTES:

- WINDOWS INSTALLED WITH A SILL HEIGHT BELOW 18" ABOVE THE FINISHED FLOOR SHALL BE TEMPERED.
- WINDOWS INSTALLED WITH A HEAD HEIGHT BELOW 36" ABOVE THE FINISHED FLOOR SHALL BE TEMPERED, REGARDLESS OF SILL HEIGHT. OPERABLE WINDOWS INSTALLED WITH SILL HEIGHTS LESS THAN 24" ABOVE THE FINISHED FLOOR SHALL BE INSTALLED WITH CODE COMPLIANT FALL PROTECTION.
- ALL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- ALL INTERIOR AND EXTERIOR WINDOW CASING SHALL BE VERIFIED W/ OWNER AND COORDINATED BY CONTRACTOR PRIOR TO ORDERING.

#### DOOR INSTALLATION NOTES:

- ALL INTERIOR AND EXTERIOR DOORS ASSUME 6'-8" HEAD HEIGHTS, UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DOORS SHALL BE INSULATED.
- ALL EXTERIOR DOORS WITH FILLED GLAZING SHALL HAVE TEMPERED AND ARGON FILLED ARGON FILLED GLAZING. PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
- ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS.
- ALL INTERIOR AND EXTERIOR DOOR CASING SHALL BE VERIFIED W/ OWNER AND COORDINATED BY CONTRACTOR PRIOR TO ORDERING.



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Matthew and Ashlie Carvalho

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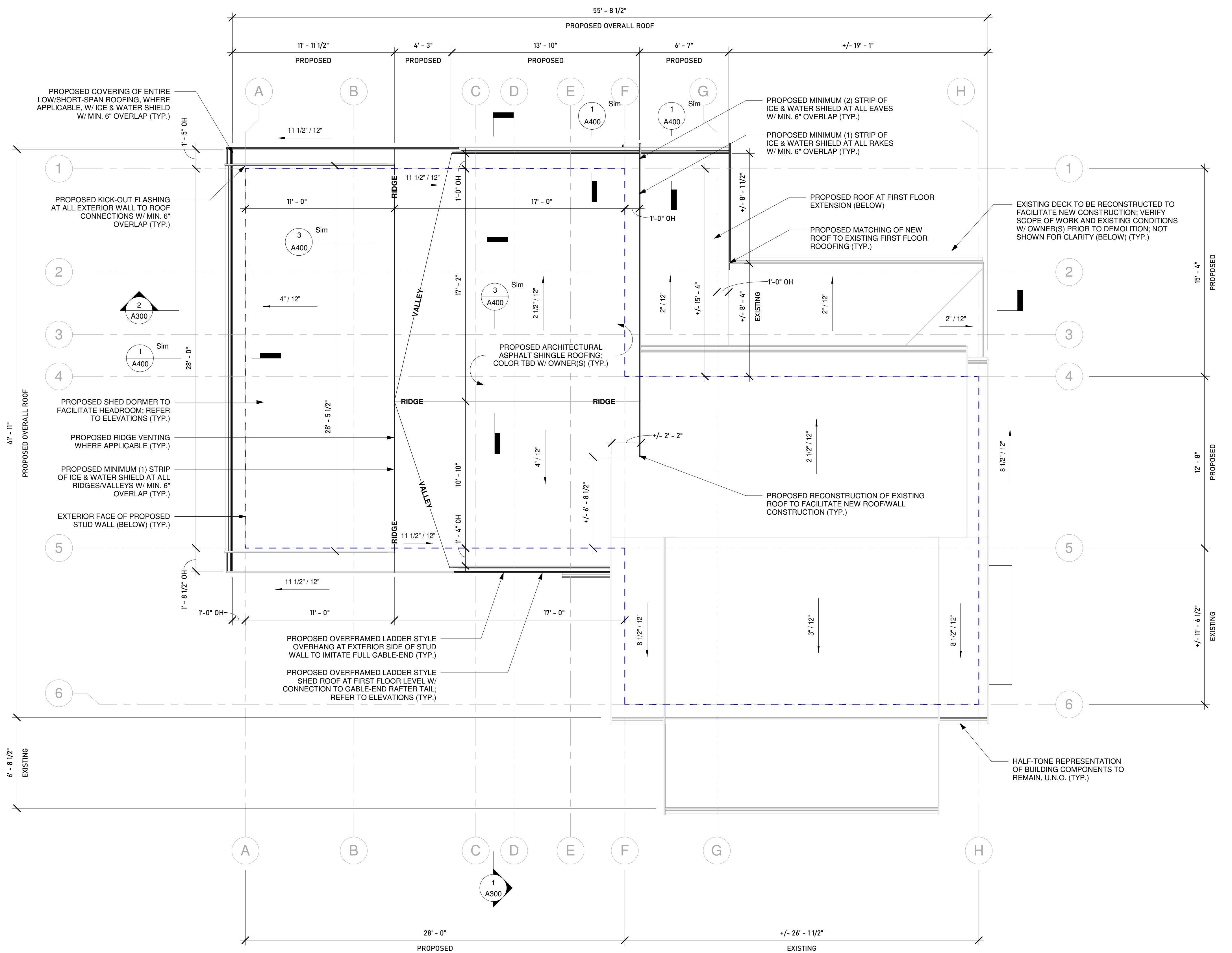
28 May, 2024

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A103

**GENERAL ROOF PLAN NOTES:**

- THESE DRAWINGS CONVEY DESIGN INTENT; ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR.
- PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF CONNECTICUT'S GENERAL STATUTES UNDER TITLE 20: PROFESSIONAL AND OCCUPATIONAL LICENSING, CERTIFICATION, TITLE PROTECTION, AND REGISTRATION EXAMINING BOARDS, CHAPTER 390 ARCHITECTS, SECTION 20-298 EXEMPTED ACTIVITIES, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HER/HE AND THE CONTRACTOR, THAT THE DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC, OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).
- PROVIDE CRICKETS AS REQUIRED AT ALL ROOFTOP PENETRATIONS. ALL ROOFTOP PENETRATIONS, INCLUDING PLUMBING VENTS, AND MECHANICAL CURBS, SHALL HAVE FLASHING INSTALLED THAT IS COMPATIBLE WITH ROOF SLOPE AND ROOFING MATERIALS.
- ALL ROOF OVERHANG FINISHES AT SOFFITS/CANTILEVERS SHALL BE VERIFIED WITH OWNER.
- ALL ROOF RIDGES SHALL HAVE CONT. RIDGE VENTS, HOLD ROOF SHEATHING BACK AS REQUIRED.
- ALL LIGHT TUBE SYSTEMS AND FIXTURES TO BE SELECTED BY OWNER AND TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.



28 May, 2024

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A109



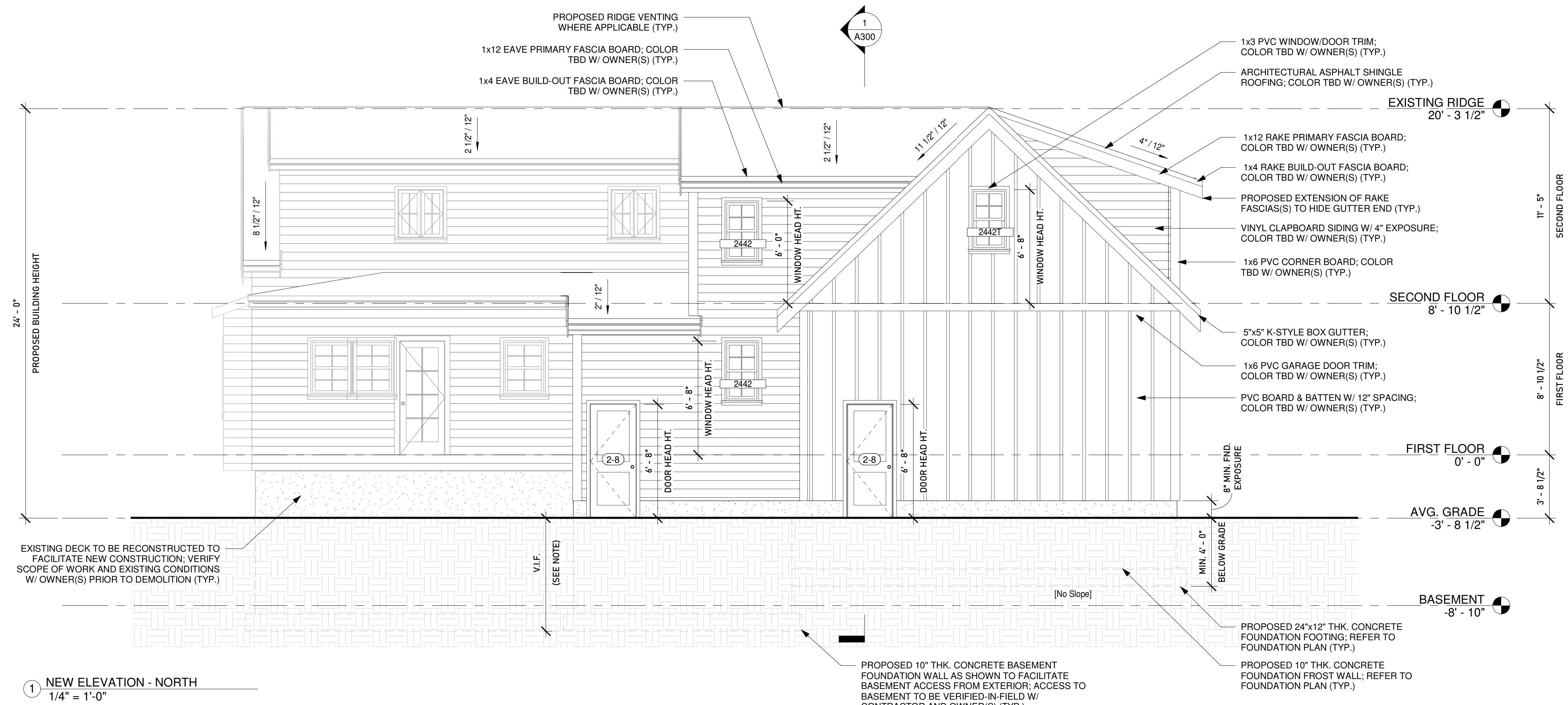


# Carvalho Residence

**45 Orchard Avenue, Barrington, RI 02806**

# Matthew and Ashlie Carvalho

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**45 Orchard Avenue, Barrington, RI 02806**

# Matthew and Ashlie Carvalho

## **GENERAL EXTERIOR ELEVATION NOTES:**

THESE DRAWINGS CONVEY DESIGN-INTENT: ALL CONSTRUCTION DETAILS SHALL BE COORDINATED AND COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR.

PURSUANT TO THE LEGAL EXEMPTIONS OUTLINED IN THE STATE OF CONNECTICUT'S GENERAL STATUTES UNDER TITLE 20: PROFESSIONAL AND OCCUPATIONAL LICENSING, CERTIFICATION, TITLE PROTECTION, AND REGISTRATION EXAMINING BOARDS, CHAPTER 390: ARCHITECTS, SECTION 20-298 - EXEMPTED ACTIVITIES, THE CLIENT/OWNER HAS ACKNOWLEDGED AND ACCEPTED, BOTH HEREIN AND VIA THE SIGNED CONTRACT, THAT ANY DESIGN/CONSTRUCTION DOCUMENTATION PRODUCED BY ACHV DESIGN LLC. OR ITS EMPLOYEES AT ANY GIVEN PHASE DOES NOT REQUIRE THE STAMPING SEAL OF A LICENSED ARCHITECT, NOR WILL SAID DOCUMENTATION BE SEALED BY ANY PROFESSIONALLY LICENSED ARCHITECT OR ANY DOCUMENT BORNE FROM THE SIGNED CONTRACT, AS PURSUANT TO THE EXEMPTIONS OF THE ABOVE-REFERENCED STATUTE(S).

ALUMINUM FLASHING, COLOR TO MATCH WINDOW FRAMES OR ADJACENT WALL COLOR(S).

SEALANTS TO MATCH ADJACENT WALL/FINISH COLOR.

PROVIDE 1" x 6" FLAT PVC TRIM ON THE EXTERIOR OF ALL WINDOWS, UNO, PAINTED TO MATCH ADJACENT FINISH COLOR(S).

PROVIDE SEALANT AT ALL PVC TRIM JOINTS AND ALL SIDING JOINTS.

PROVIDE 1x PVC TRIM PLATES W/ MIN. 1" REVEALED W/ 1" PT

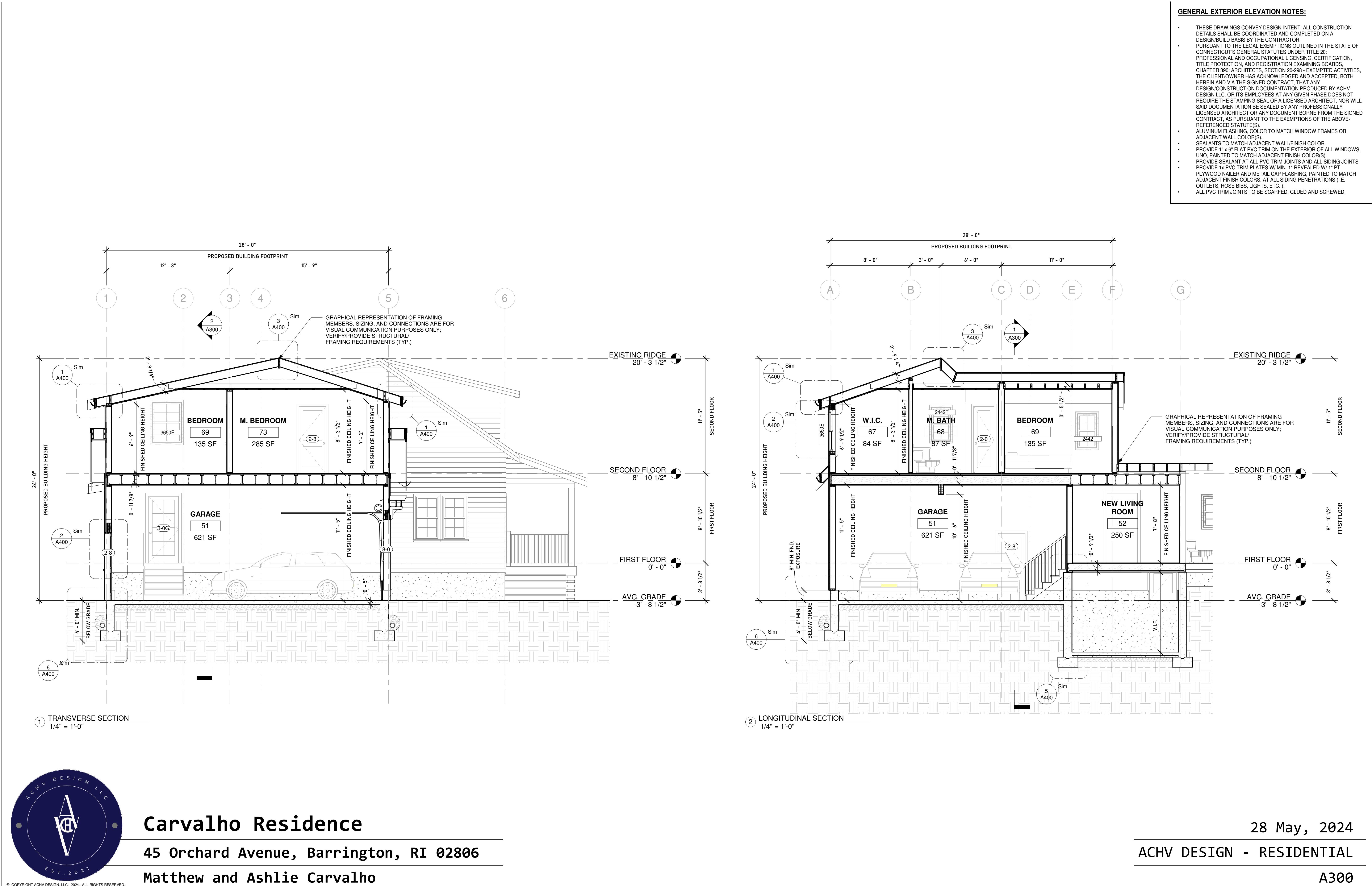
PLYWOOD NAILER AND METAIL CAP FLASHING, PAINTED TO MATCH ADJACENT FINISH COLORS, AT ALL SIDING PENETRATIONS (I.E. OUTLETS, HOSE BIBS, LIGHTS, ETC..).

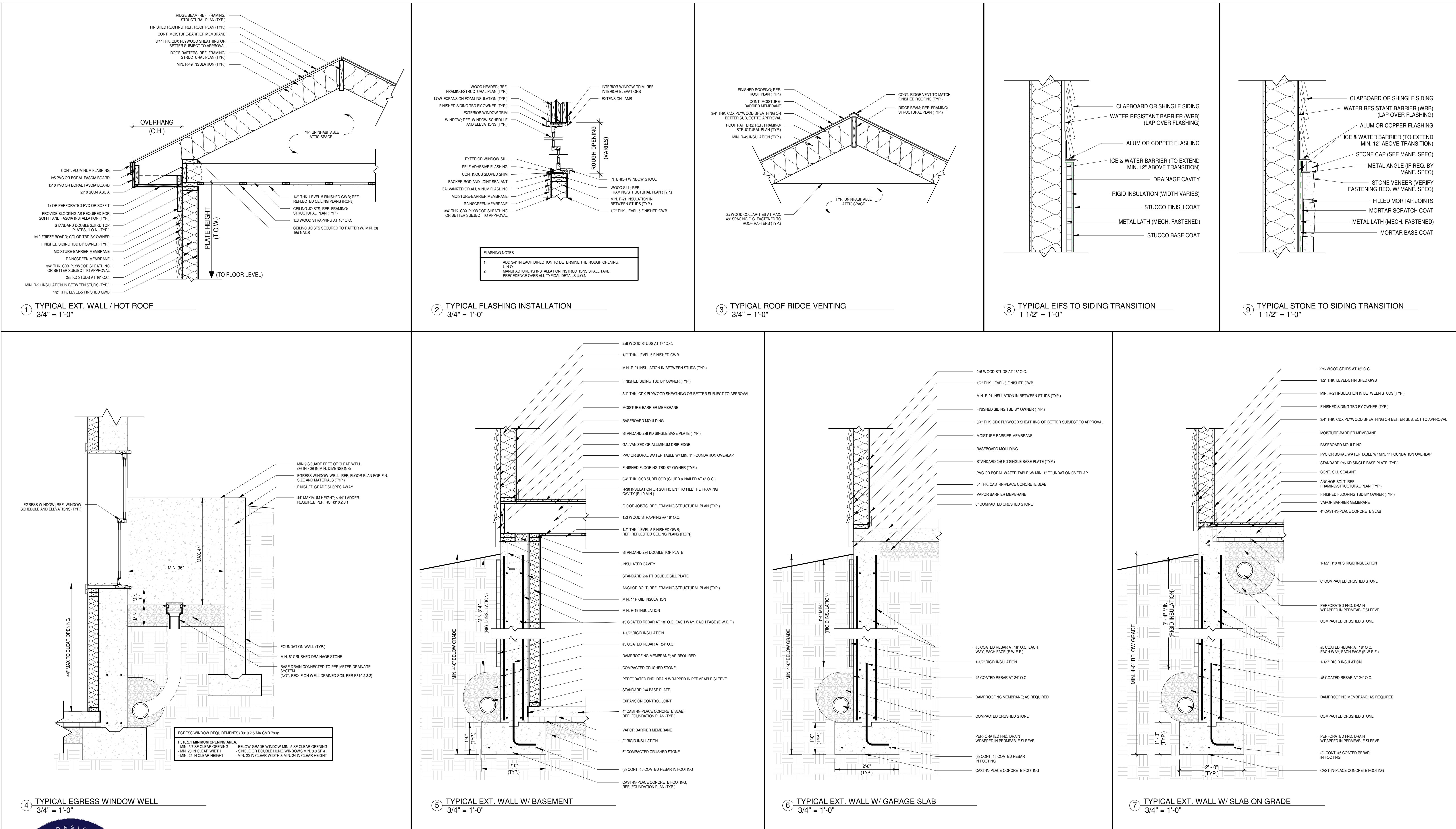
ALL PVC TRIM JOINTS TO BE SCARFED, GLUED AND SCREWED.

28 May, 2024

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A201





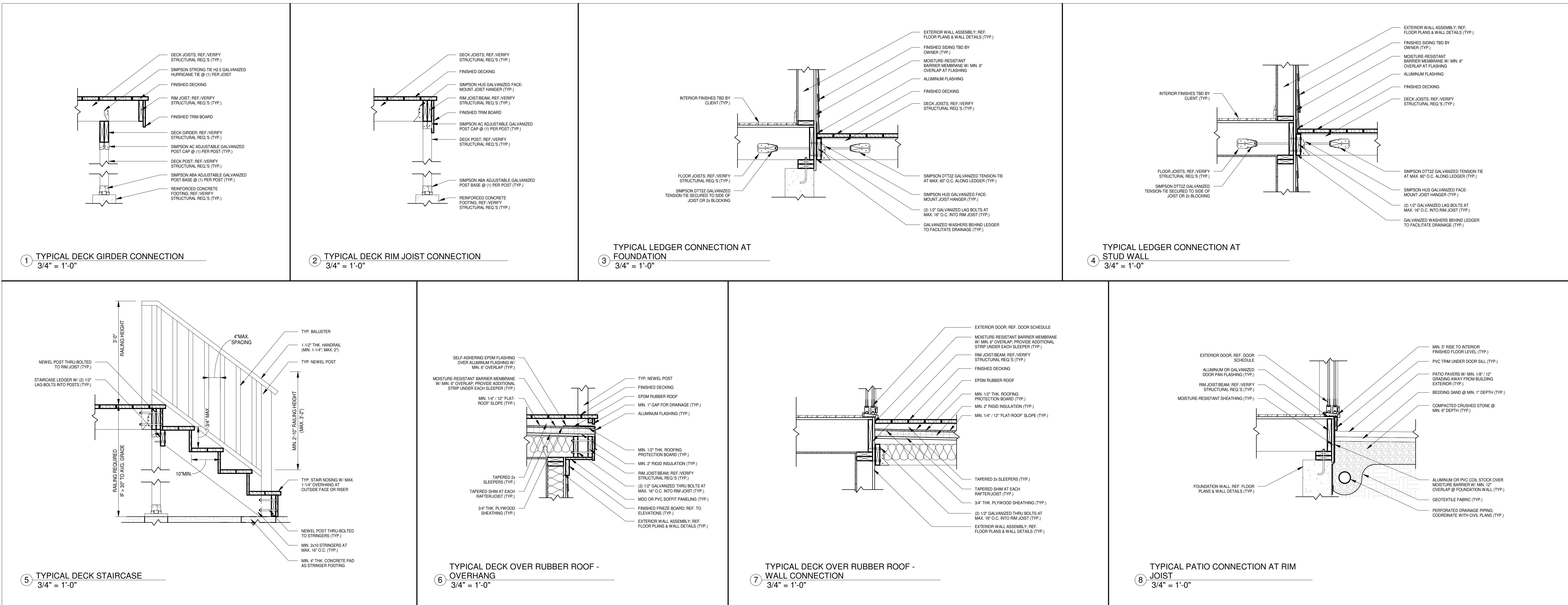
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A401

A	2x4 WOOD FRAME WALL - 1/2" GWB	FIRE RATING: 45 MIN.	UL DESIGN: U317	STC RAT.: N/A
B	2x6 WOOD FRAME WALL - 5/8" GWB	FIRE RATING: 60 MIN.	UL DESIGN: U305	STC RAT.: 33
C	2x6 WOOD FRAME EXT. WALL - 1/2" GWB	FIRE RATING: N/A	UL DESIGN: N/A	STC RAT.: N/A
D	2x4 WOOD FRAME WALL - MOISTURE RESIST	FIRE RATING: N/A	UL DESIGN: N/A	STC RAT.: N/A
E	2x6 WOOD FRAME WALL - MOISTURE RESIST	FIRE RATING: N/A	UL DESIGN: N/A	STC RAT.: N/A
F	2x6 WOOD FRAME WALL - 1/2" GWB	FIRE RATING: 3/4 HR	UL DESIGN: U317	STC RAT.: N/A
G	AREA SEPARATION - DIMISING WALL	FIRE RATING: 2 HRS	UL DESIGN: U338	STC RAT.: 46
H	2x4 WOOD STUD - FIRE WALL	FIRE RATING: 2 HR	UL DESIGN: U301	STC RAT.: N/A
I	2x6 WOOD FRAME WALL - 1/2" GWB	FIRE RATING: 2 HR	UL DESIGN: U301	STC RAT.: N/A

\*\* WALL TYPES PROVIDED BY USG DESIGN STUDIO (WWW.USGDESIGNSTUDIO.COM)

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28 May, 2024

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